

Granting an encroachment to GSM Properties, LLC, for the use of the right of way area of the 1200 block of Taylor Street for the installation and maintenance of brick pavers and concrete sidewalks, landscaping, irrigation and a suspended pavement system to support the new landscaping adjacent to 1216 and 1218 Taylor Street, Richland County TMS# 09014-09-03 and 09014-09-04

WHEREAS, GSM Properties, LLC, (hereinafter "Grantee") desires to utilize a portion of the right of way area of the 1200 block of Taylor Street for the installation and maintenance of brick pavers and concrete sidewalks, landscaping, irrigation and a suspended pavement system to support the new landscaping adjacent to 1216 and 1218 Taylor Street, as shown on the attached drawings; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 3rd day of May, 2022, that Grantee is hereby granted the right to use the right of way areas of the 1200 block of Taylor Street adjacent to 1216 and 1218 Taylor Street, Richland County TMS# 09014-09-03 and 09014-09-04, for the installation and maintenance of concrete sidewalks measuring approximately eighteen (18') feet in width forty (40') feet in length, brick pavers measuring approximately nine (9') feet in width twenty-seven (27') feet in length, landscaping, irrigation and a suspended pavement system to support the new landscaping measuring approximately five (5') in width five (5') feet in length, as shown on the attached drawings.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by Grantee's construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED further that in the event the City has to make repairs or maintain utility lines located within the encroachment area the City will replace any items removed for the utility repair or maintenance with like items to those removed; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.
2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.
3. Grantee is responsible for maintaining landscaping and improvements.
4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.
5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.
6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.
7. All trees shall be protected and no large tree roots shall be removed from any existing trees.
8. Emergency egress from the buildings shall not be impeded.

BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

Assistant City Manager Gentry




Mayor

Approved by:



City Manager

Approved as to form:



City Attorney

ATTEST:



City Clerk

Introduced: 4/19/2022

Final Reading: 5/3/2022

**CITY COUNCIL
ENCROACHMENT SUMMARY
2022-030**



**1200 BLOCK OF TAYLOR STREET
ADJACENT TO 1216 AND 1218 TAYLOR STREET
SIDEWALKS, BRICK PAVERS, LANDSCAPING, IRRIGATION AND SUSPENDED
PAVEMENT SYSTEM**

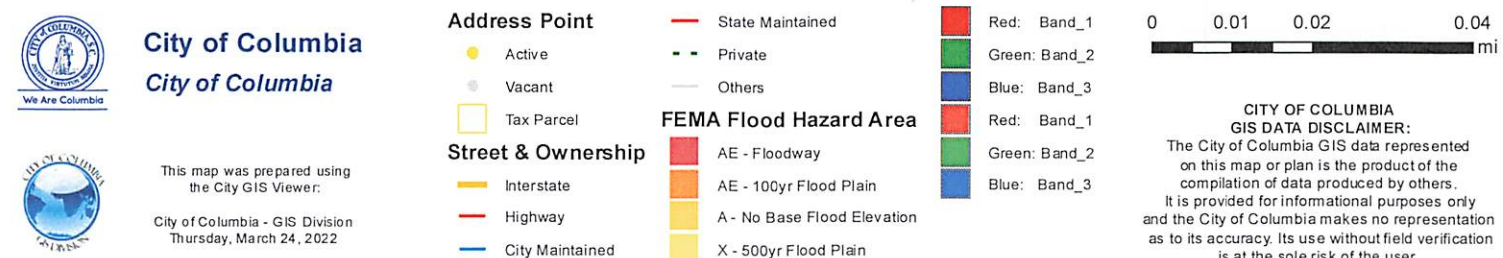
Subject Property:	Right-of-way adjacent to 1216 and 1218 Taylor Street
Council District:	2
Proposal:	The applicant is requesting an encroachment for installation and maintenance of sidewalks, brick pavers, landscaping, irrigation and suspended pavement system.
Applicant:	GSM Properties, LLC
Staff Recommendation:	Approval.

Detail:	<p>The applicant is requesting an encroachment for installation and maintenance of concrete sidewalks measuring approximately eighteen (18') feet in width forty (40') feet in length, brick pavers measuring approximately nine (9') feet in width twenty-seven (27') feet in length, landscaping, irrigation and a suspended pavement system to support the new landscaping measuring approximately five (5') in width five (5') feet in length, as shown on the attached drawings; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none">1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.3. Grantee is responsible for maintaining landscaping and improvements.4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.7. All trees shall be protected and no large tree roots shall be removed from any existing trees.8. Emergency egress from the buildings shall not be impeded.
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CITY AGENCY COMMENTS FOR ENCROACHMENT

Lucinda Statler, Planning Department	Recommend approval.
Robert Anderson, Street Division	Recommend approval.

Denny Daniels, Columbia Water Engineering	Recommend approval.
Traffic Engineering	Recommend approval.
Caleb King, Forestry Division	Recommend approval.
Johnathan Chambers, Land Development	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Tori Salvant, Parking Services	Recommend approval.




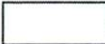



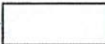

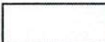

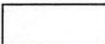

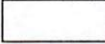


Permanent Encroachment

Application and Checklist

Checklist for All Applications

A complete site plan application shall include the following information. Refer to the Procedures Manual for additional information about these requirements. Please initial to signify that the requested information has been provided.

	Applicant Initials	Staff Initials
A copy of this Application Checklist, completed by the applicant.		
A completed and signed Application Form		
Letters of Agency for all applications where the applicant is not the owner of the subject property		
Pictures or specification sheet of the items to permanently encroach the Right-of-way		
Existing Site Plan Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format) – may be 8 ½ inches x 11 inches if legible 	
Proposed Site Plan Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format) – may be 8 ½ inches x 11 inches if legible 	



Permanent Encroachment Application and Checklist

1. Applicant Information

Name SCOTT MIDDLETON	
Company (if applicable) GSM Properties, LLC	
Address (street, city, state, zip) 1619 SUMTER STREET COLUMBIA, SC 29201 1624 Main St, Columbia, SC 29201	
Phone 803-730-9454	Email SMiddleton@lthcs.com

2. Property Information

Address 1216 - 1218 Taylor St, Columbia, SC 29201	
Tax Map Reference Number(s) Richland County TMS # R09014-09-03 & R09014-09-04	
Current use Vacant	Proposed use Dining / Restaurant

3. Property Ownership

Does the applicant own the adjacent property? ☐ Yes ☒ No

If the applicant does not own the adjacent property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.



Permanent Encroachment

Application and Checklist

4. Project Description

Provide a brief description of the project and list all items that will be placed in the right-of-way (walls, fences, columns, steps, irrigation systems, landscaping, driveways, pavers, sidewalks/walkways, planters, awnings, etc.)

GSM Properties, LLC intends to renovate the building located at 1216 - 1218 Taylor St. in Columbia, SC that's associated with Richland County TMS # R09014-09-04 & R09014-09-03. Necessary infrastructure & improvements in Taylor St. Right-of-Way (SC-12), as shown in the Site Construction Plans provided as part of this application, to support the proposed renovations are described below.

The proposed improvements include demolition of the sidewalk in front of the existing building along 1216 to 1218 Taylor St., installation of new brick paver(s) & concrete sidewalk, installation of a new 4" water meter vault in the new sidewalk, & the installation of new landscaping & suspended pavement system to support the new landscaping, as shown in the Site Construction Plans provided as part of this application.

The sidewalk surfacing & landscaping shown in the Site Construction Plans is consistent with previous improvements made adjacent to the Project Site (refer to 1227 Taylor St. (TMS # R09014-04-09)) and is proposed at the request of the City of Columbia.

For staff use only

Date received (M/D/Y): ____/____/____

By: _____



Permanent Encroachment Application and Checklist

5. Additional Submission Requirements

Existing Site Plan

This shall be a site plan of the existing conditions or a plat of survey, to scale and fully dimensioned.

Proposed Site Plan

The proposed site plan shall be prepared to scale and fully dimensioned, and include the following:

	Applicant	Staff
Total acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of lots and outlets (numbered and area in square feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of buildings (including setbacks from property lines and distances between buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of parking and access/driveways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of rights-of-way and/or easements for streets, railroads, and utility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of streets, alleys, railroads, and utility lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section of sidewalk or right-of-way to be used for the encroachment	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings on the sidewalk	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location and height of all fences, walls, and exterior lighting in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vicinity map (at 1 inch equals 1,000 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. Acknowledgement

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment.

Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required.

In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or catimmons@columbiasc.net.

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation.



Permanent Encroachment

Application and Checklist


Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager.

Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Permittee understands and agrees that the privilege granted may be modified or terminated by the City of Columbia at any time without notice and that the privilege granted hereby is subject to applicant's compliance with the following conditions, restrictions or limitations:

Permittee must comply with all existing City of Columbia and any other state or federal codes, rules and regulations, as applicable including the Americans with Disabilities Act, now in existence or hereafter enacted.

7. Signature

Signature of Applicant	
	
Print Name	Date
SCOTT MIDDLETON	12-10-2021

SITE CONSTRUCTION PLANS
FOR

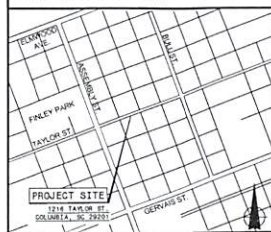
1216-1218 TAYLOR ST IMPROVEMENTS

CITY OF COLUMBIA, SC

GENERAL NOTES:

1. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.
3. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER.
4. BOUNDARY AND TOPOGRAPHY HAS NOT BEEN FIELD VERIFIED BY THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, COUNTY AND LOCAL MUNICIPALITIES.
7. ALL MATERIALS, METHODS, AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND REGULATIONS OF THE CITY OF COLUMBIA & SCOT.
8. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
9. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ADEQUATE FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
10. THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES TO EXISTING INFRASTRUCTURE WITHIN THE SITE OR ADJACENT PROPERTIES (I.E., PAVEMENT, CURB, SIDEWALK, UTILITIES, LANDSCAPED AREAS, ETC.). THE CONTRACTOR SHALL REPAIR/REPLACE ALL DAMAGED ITEMS IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATORY REQUIREMENTS.
12. CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES, AS REQUIRED.
13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY OWNERS AND SUBCONTRACTORS PERFORMING WORK TO AVOID CONFLICTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING INSTALLATION OF ALL UTILITIES IN A TIMELY, ORGANIZED, AND COORDINATED MANNER.
14. IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND UNWANTED MATERIAL, ETC., IN A LEGAL MANNER.

SITE VICINITY MAP - 1"=1000'



SHEET INDEX - CIVIL SITE

SHT. NO.	SHEET NAME	DATE
C-001	COVER SHEET	
C-002	GENERAL NOTES & LEGEND	
C-003	EXISTING CONDITIONS & DEMOLITION PLAN	
C-100	SITE PLAN	
C-101	WATER & SANITARY SEWER PLAN	
C-102	WATER & SANITARY SEWER PLAN	
C-103	CONSTRUCTION EROSION CONTROL PLAN	
C-104	CONSTRUCTION EROSION CONTROL PLAN	
C-105	CONSTRUCTION DETAILS	
C-106	CONSTRUCTION DETAILS	
C-107	CONSTRUCTION DETAILS	

DEVELOPED BY

GSM PROPERTIES, LLC

LAND DISTURBANCE

NO.04 ACRES

PROJECT CONTACTS

DEVELOPER/OWNER

GSM PROPERTIES, LLC
1024 BAYN ST.
COLUMBIA, SC 29201
CONTACT: JEFFREY J. JESSE
PHONE: (803) 733-1000
EMAIL: JJE@GSMCOLUMBIA.COM

ENGINEER

JACOB RICE ENGINEERING, LLC
14 CALDWELL ST.
COLUMBIA, SC 29201
CONTACT: ALLEN LIVINGSTON
PHONE: (803) 733-1000
EMAIL: ALLEN@JACOBENGINEERING.COM

ARCHITECT

ATC ASSOCIATES, INC.
1213 LAFAYETTE ST., SUITE 400
COLUMBIA, SC 29201
CONTACT: JONATHAN E. CHANDLER
PHONE: (803) 733-1000
EMAIL: JCHANDLER@ATCARCHITECTS.COM

PLANNING & ZONING

CITY OF COLUMBIA
1100 WASHINGTON ST.
COLUMBIA, SC 29201
CONTACT: JONATHAN E. CHANDLER
PHONE: (803) 733-1000
EMAIL: JCHANDLER@COLUMBIASCMO.COM

STORMWATER

CITY OF COLUMBIA
1100 WASHINGTON ST.
COLUMBIA, SC 29201
CONTACT: ALFRED M. JESSE
PHONE: (803) 733-1000
EMAIL: ALFRED.JESSE@COLUMBIASCMO.COM

WATER & SEWER

CITY OF COLUMBIA
1100 WASHINGTON ST.
COLUMBIA, SC 29201
CONTACT: BOBBI ROBERTS
PHONE: (803) 733-1000
EMAIL: BOBBI.ROBERTS@COLUMBIASCMO.COM

**** THE INDIVIDUALS LISTED ****
HEREIN ARE INTENDED TO BE POINTS
OF CONTACT AND ARE NOT NECESSARILY
THE PROFESSIONALS OF RECORD. REFER
TO THE PROFESSIONAL DESIGNING PLANS
FOR INFORMATION REGARDING THE
RESPECTIVE PROFESSIONALS OF RECORD.



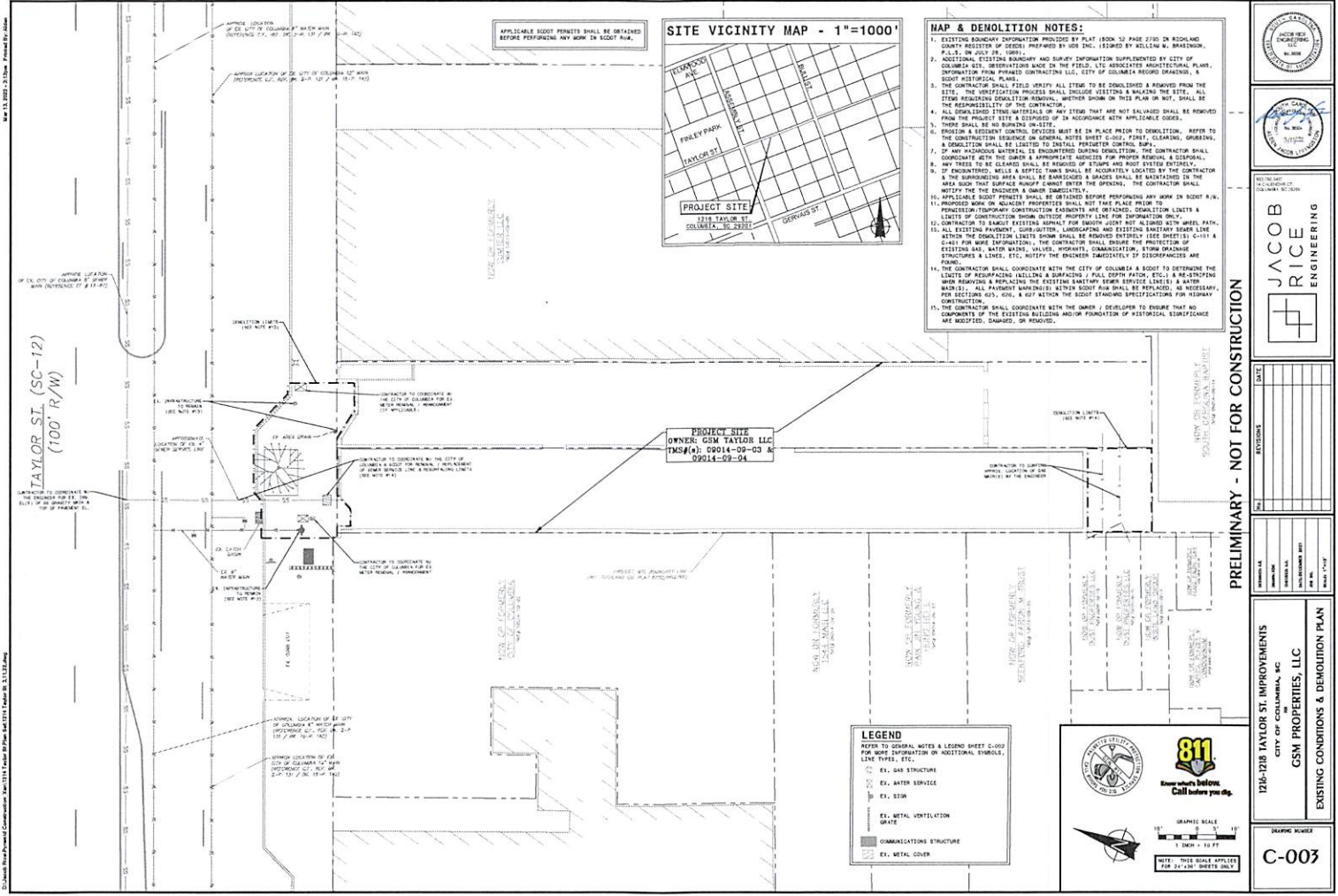
1216-1218 TAYLOR ST. IMPROVEMENTS
CITY OF COLUMBIA, SC
GSM PROPERTIES, LLC
COVER SHEET

DRAWING NUMBER
C-001

PRELIMINARY - NOT FOR CONSTRUCTION



JACOB RICE
ENGINEERING



12/18/2018 3:10pm Printed By: Admin

- MAP & DEMOLITION NOTES:**
- EXISTING BOUNDARY INFORMATION PROVIDED BY PLAT 1800.12 PAGE 2780 ON RICHLAND COUNTY REGISTER OF DEEDS, PREPARED BY JES INC. ISSUED BY KYLE W. BRANNINGHAM, P.L.L.C. ON JULY 28, 1991.
 - ADDITIONAL EXISTING BOUNDARY AND SURVEY INFORMATION SUPPLEMENTED BY CITY OF COLUMBIA GIS. OBSERVATIONS MADE IN THE FIELD, LIT ASSOCIATES ARCHITECTURAL PLANS, INFORMATION FROM PROVIDED CONTRACTING LLC, CITY OF COLUMBIA RECORD DRAWINGS, & SCOT HISTORICAL PLANS.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS TO BE DEMOLISHED & REMOVED FROM THE SITE. THE OBSERVATION PROCESS SHALL INCLUDE VISITING & WALKING THE SITE. ALL ITEMS REQUIRE DEMOLITION REMOVAL, WHETHER SHOWN ON THIS PLAN OR NOT, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL DEMOLISHED ITEMS MATERIALS OR ANY ITEMS THAT ARE NOT SALVAGED SHALL BE REMOVED FROM THE PROJECT SITE & DISPOSED OF IN ACCORDANCE WITH APPLICABLE CODES.
 - THERE SHALL BE NO BURNING ON-SITE.
 - DEMOLITION & EXISTENT CONTROL SPECIES MUST BE IN PLACE PRIOR TO DEMOLITION. REFER TO THE CONSTRUCTION SEQUENCE ON GENERAL NOTES SHEET C-002, FIRST, CLEARING, GRUBBING, & DEMOLITION SHALL BE LIMITED TO DETAILED PRELIMINARY CONSTRUCTION MAPS.
 - IF ANY HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER & APPROPRIATE AGENCIES FOR PROPER REMOVAL & DISPOSAL.
 - ANY TREES TO BE CLEARED SHALL BE REMOVED BY STUMPS AND ROOT SYSTEM ENTIRELY.
 - IF ENCOUNTERED, WELLS & DEPTED TANKS SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR. THE BURNING AREA SHALL BE BARRICADED & SIGNS SHALL BE MAINTAINED IN THE AREA SUCH THAT SURFACE RUNOFF CANNOT ENTER THE OPENING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER & OWNER IMMEDIATELY.
 - APPLICABLE SCOT PERMITS SHALL BE OBTAINED BEFORE RESPONDING ANY WORK IN SCOT R/W.
 - DEMOLITION WORK ON ADJACENT PROPERTIES SHALL NOT TAKE PLACE PRIOR TO PERMITS/TEMPORARY CONSTRUCTION EASEMENTS ARE OBTAINED. DEMOLITION LIMITS & LIMITS OF CONSTRUCTION SHOWN MUST BE PROPERTY LINE FOR CONSTRUCTION ONLY.
 - CONTRACTOR TO ABANDON EXISTING SIGNAL FOR SOUTH RIGHT OF WAY ADJACENT TO MAPLE PATH.
 - ALL EXISTING PAVEMENT, CURB/UTTER, LANDSCAPE, AND EXISTING SANITARY SEWER LINE WITHIN THE DEMOLITION LIMITS SHALL BE REMOVED ENTIRELY (SEE SHEET(S) C-013) & CHASE FOR MORE INFORMATION. THE CONTRACTOR SHALL ENSURE THE PROTECTION OF EXISTING GAS, WATER MAINS, VALVES, MORNENTS, COMMUNICATION, STORM DRAINAGE STRUCTURES & LINES, ETC. NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.
 - THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF COLUMBIA & SCOT TO DETERMINE THE LIMITS OF NEIGHBORING BUILDING & SURFACING. PAUL DUFFY PARK, ETC. & BE EXTENDING WHEN REMOVING & REPLACING THE EXISTING SANITARY SEWER SERVICE LINES & WATER MAINS. ALL PAVEMENT WARDENS: WITHIN SCOT R/W SHALL BE REPLACED, AS NECESSARY, PER SECTIONS 403, 406, & 407 WITHIN THE SCOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER / DEVELOPER TO ENSURE THAT NO COMPONENTS OF THE EXISTING BUILDING FOUNDATION OF HISTORICAL SIGNIFICANCE ARE MODIFIED, DAMAGED, OR REMOVED.

- LEGEND**
- REFER TO GENERAL NOTES & LEGEND SHEET C-002 FOR MORE INFORMATION ON ADDITIONAL SYMBOLS, LINE TYPES, ETC.
- EX. GAS STRUCTURE
 - EX. WATER SERVICE
 - EX. STORM
 - EX. METAL VENTILATION GRATE
 - EX. METAL COVER



PRELIMINARY - NOT FOR CONSTRUCTION

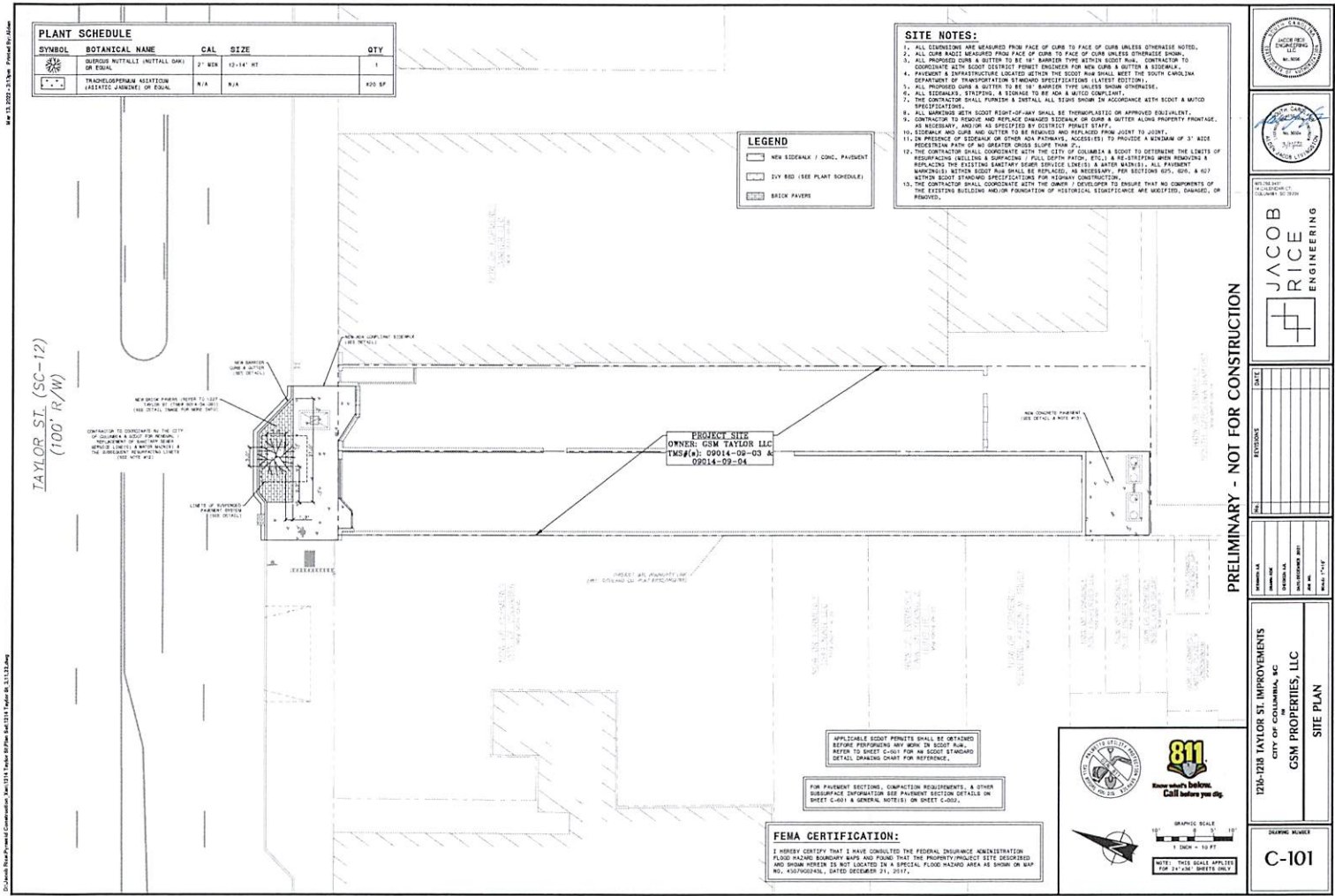
JACOB RICE ENGINEERING

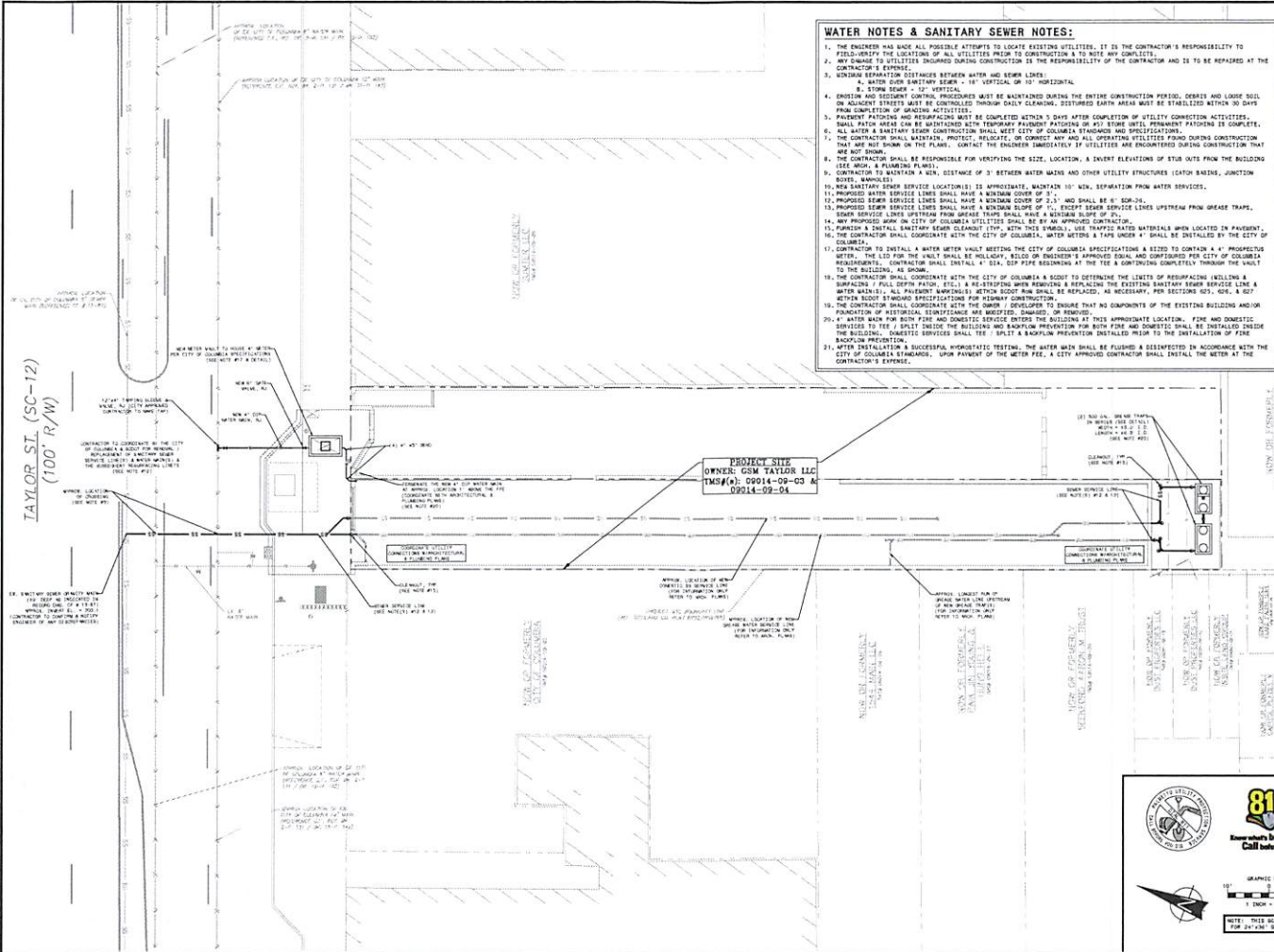
1218-1218 TAYLOR ST. IMPROVEMENTS
CITY OF COLUMBIA, SC
GSM PROPERTIES, LLC
EXISTING CONDITIONS & DEMOLITION PLAN

C-003

May 13, 2022 - 3:15 PM Printed By: Admin

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WATER NOTES & SANITARY SEWER NOTES:

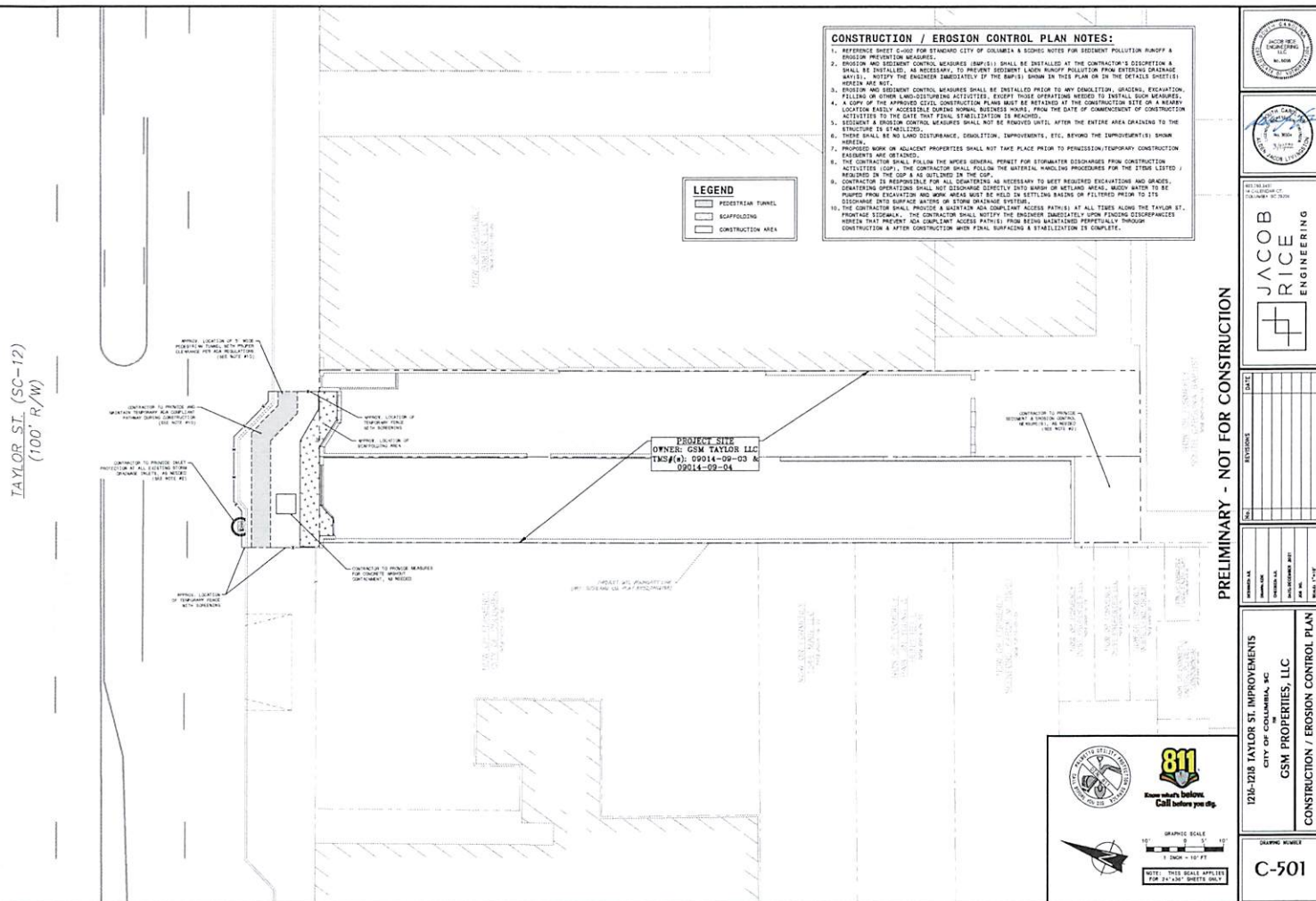
1. THE ENGINEER HAS MADE ALL POSSIBLE ATTEMPTS TO LOCATE EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION & TO MAKE ANY CORRECTIONS.
2. ANY CHANGE TO UTILITIES INCURRED DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. MINIMUM SEPARATION DISTANCES BETWEEN WATER AND SEWER LINES:
 - a. WATER OVER SANITARY SEWER - 18\"/>
 - b. SEWER OVER WATER - 12\"/>
 - c. SEWER OVER SEWER - 12\"/>
4. EXISTING AND EXCESSIVE CONDUITS, PROCEDURES MUST BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. DEBRIS AND LOOSE SOIL ON ADJACENT STREETS MUST BE CONTROLLED THROUGH DAILY CLEANING. DISTURBED EARTH AREAS MUST BE STABILIZED WITHIN 30 DAYS FROM COMPLETION OF GRADING ACTIVITIES.
5. PAYMENT PATCHING AND REPAIRS MUST BE COMPLETED WITHIN 5 DAYS AFTER COMPLETION OF UTILITY CONNECTION ACTIVITIES. SHALL PATCH AREAS CAN BE NOTIFIED WITH TEMPORARY PAYMENT PATCHING ON 4\"/>
6. ALL WATER & SANITARY SEWER CONSTRUCTION SHALL MEET CITY OF COLUMBIA STANDARDS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CORRECT ANY AND ALL EXISTING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THE PLANS. CONTACT THE ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE, LOCATION, & DEPTH ELEVATIONS OF STUB INITS FROM THE BUILDING (SEE ARCH. & PLUMBING PLANS).
9. CONTRACTOR TO MAINTAIN A MIN. DISTANCE OF 3' BETWEEN WATER AND OTHER UTILITY STRUCTURES (CATCH BASINS, JUNCTION BOXES, MANHOLES).
10. NEW SANITARY SEWER SERVICE LOCATIONS ARE APPROXIMATE, MAINTAIN 10' MIN. SEPARATION FROM WATER SERVICES.
11. PROPOSED WATER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 3\"/>
12. PROPOSED SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 2.5' AND SHALL BE 8\"/>
13. PROPOSED SEWER SERVICE LINES SHALL HAVE A MINIMUM SLOPE OF 1\"/>
14. ANY PROPOSED WORK ON CITY OF COLUMBIA UTILITIES SHALL BE BY AN APPROVED CONTRACTOR.
15. FURNISH A DETAIL SANITARY SEWER CLEANOUT (TYP. WITH 2\"/>
16. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF COLUMBIA, WATER METERS & TYPE WHEN A TYPE WHEN A SHALL BE INSTALLED BY THE CITY OF COLUMBIA.
17. CONTRACTOR TO INSTALL A WATER METER UNIT MEETING THE CITY OF COLUMBIA SPECIFICATIONS & KEYS TO INSTALLATION & 4\"/>
18. CONTRACTOR SHALL COORDINATE WITH THE CITY OF COLUMBIA & SCOUT TO DETERMINE THE LISTS OF RESURFACING (PAVING & SURFACING / FULL DEPTH PATCH, ETC.) & REPAIRS WHEN REMOVING & REPLACING THE EXISTING SANITARY SEWER SERVICE LINE & WATER MAINLINE. ALL PAYMENT PATCHES/REPAIRS WITHIN SCOUT'S AREA SHALL BE REPLACED, AS NECESSARY, PER SECTION 102.1 - ROW. A 40\"/>
19. THE CONTRACTOR SHALL COORDINATE WITH THE SCOUT / DEVELOPER TO ENSURE THAT NO COMPONENTS OF THE EXISTING BUILDING AND/OR FOUNDATION OF HISTORICAL SIGNIFICANCE ARE DAMAGED, DAMAGED, OR REMOVED.
20. 4\"/>
21. AFTER INSTALLATION & SUCCESSFUL HYDROSTATIC TESTING, THE WATER MAIN SHALL BE FLUSHED & DISINFECTED IN ACCORDANCE WITH THE CITY OF COLUMBIA STANDARDS. UPON PAYMENT OF THE METER FEE, A CITY APPROVED CONTRACTOR SHALL INSTALL THE METER AT THE CONTRACTOR'S EXPENSE.

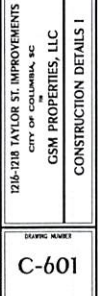
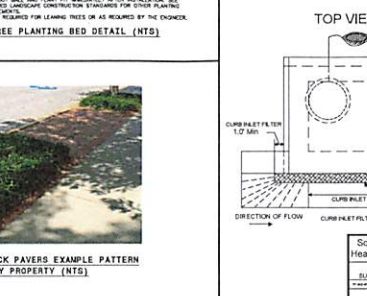
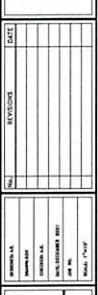
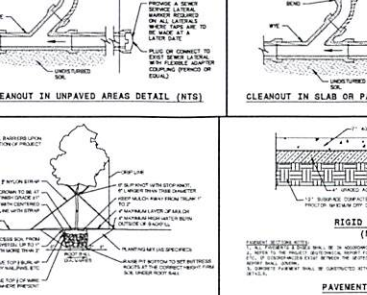
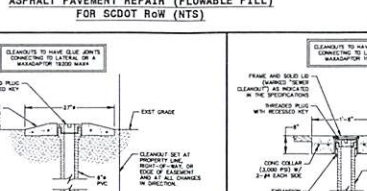
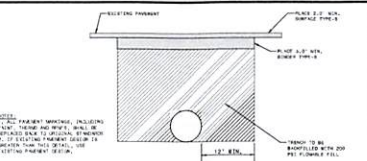
PRELIMINARY - NOT FOR CONSTRUCTION

JACOB RICE ENGINEERING

1216-1218 TAYLOR ST. IMPROVEMENTS
CITY OF COLUMBIA, SC
CSM PROPERTIES, LLC
WATER & SANITARY SEWER PLAN

C-401





6-1218 TAYLOR ST. IMPROVEMENTS
CITY OF COLUMBIA, SC
GSM PROPERTIES, LLC
CONSTRUCTION DETAILS I

DRAWING NUMBER

C-601



Figure 1 consists of three diagrams illustrating the details of the test specimens. The top-left diagram is a cross-section of a pile cap, showing a circular pile with a diameter of 100 mm and a pile cap diameter of 150 mm. The top-right diagram is a side view of a pile cap, showing a pile cap with a height of 150 mm and a pile with a diameter of 100 mm. The bottom diagram is a cross-section of a pile, showing a pile with a diameter of 100 mm and a pile cap with a height of 150 mm. The diagrams are labeled with dimensions and materials.

NO.	THICKNESS (mm)
1	100
2	150
3	200
4	250
5	300
6	350
7	400
8	450
9	500
10	550
11	600
12	650
13	700
14	750
15	800
16	850
17	900
18	950
19	1000
20	1050
21	1100
22	1150
23	1200
24	1250
25	1300
26	1350
27	1400
28	1450
29	1500
30	1550
31	1600
32	1650
33	1700
34	1750
35	1800
36	1850
37	1900
38	1950
39	2000
40	2050
41	2100
42	2150
43	2200
44	2250
45	2300
46	2350
47	2400
48	2450
49	2500
50	2550
51	2600
52	2650
53	2700
54	2750
55	2800
56	2850
57	2900
58	2950
59	3000
60	3050
61	3100
62	3150
63	3200
64	3250
65	3300
66	3350
67	3400
68	3450
69	3500
70	3550
71	3600
72	3650
73	3700
74	3750
75	3800
76	3850
77	3900
78	3950
79	4000
80	4050
81	4100
82	4150
83	4200
84	4250
85	4300
86	4350
87	4400
88	4450
89	4500
90	4550
91	4600
92	4650
93	4700
94	4750
95	4800
96	4850
97	4900
98	4950
99	5000
100	5050
101	5100
102	5150
103	5200
104	5250
105	5300
106	5350
107	5400
108	5450
109	5500
110	5550
111	5600
112	5650
113	5700
114	5750
115	5800
116	5850
117	5900
118	5950
119	6000
120	6050
121	6100
122	6150
123	6200
124	6250
125	6300
126	6350
127	6400
128	6450
129	6500
130	6550
131	6600
132	6650
133	6700
134	6750
135	6800
136	6850
137	6900
138	6950
139	7000
140	7050
141	7100
142	7150
143	7200
144	7250
145	7300
146	7350
147	7400
148	7450
149	7500
150	755

[illegible][illegible]

1-1218 TAYLOR ST. IMPROVEMENTS
CITY OF COLUMBIA, SC
GSM PROPERTIES, LLC
CONSTRUCTION DETAILS II

C-602