

ORIGINAL
STAMPED IN RED

ORDINANCE NO.: 2022-032

Granting an encroachment to Huger Senate Hotel Associates, LLC for the use of the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street for the installation and maintenance of parking spaces, sidewalks, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, Richland County TMS#08911-01-05 and 08911-01-15

WHEREAS, Huger Senate Hotel Associates, LLC (hereinafter "Grantee") desires to utilize a portion of the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street for the installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, as shown on the attached drawings; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 21st day of June, 2022, that Grantee is hereby granted the right to use the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street adjacent to 1025 and 1043 Huger Street, Richland County TMS#08911-01-05 and 08911-01-15, for the installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation as shown on the attached drawings.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by Grantee's construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED further that in the event the City has to make repairs or maintain utility lines located within the encroachment area the City will replace any items removed for the utility repair or maintenance with like items to those removed; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.

2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.

3. Grantee is responsible for maintaining landscaping and improvements.

4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.

5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.

6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.

7. All trees shall be protected and no large tree roots shall be removed from any existing trees.

8. The five (5) parking spaces located in the public right-of-way of Senate Street are not solely for the proposed development located at 1043 Huger Street and may be metered.

9. Installation of Street lighting by the developer to be coordinated with Traffic Engineering and Planning and Development Services to ensure that the proposed locations of the lights do not materially alter the proposed improvements.

BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

Assistant City Manager Gentry

Approved by:

Cheresa B. Wilson
City Manager

Approved as to form:

[Signature]
City Attorney

[Signature]
Mayor

ATTEST:

[Signature]
City Clerk

Introduced: 6/7/2022

Final Reading: 6/21/2022

**CITY COUNCIL
ENCROACHMENT SUMMARY
2022-032**



**1000 BLOCK OF HUGER STREET, 400 BLOCK OF SENATE STREET
ADJACENT TO 1025 AND 1043 HUGER STREET
PARKING SPACES, SIDEWALKS, LANDSCAPING, AND IRRIGATION**

Subject Property:	Right-of-way adjacent to 1025 and 1043 Huger Street
Council District:	2
Proposal:	The applicant is requesting an encroachment for installation and maintenance of parking spaces, sidewalks, landscaping, and irrigation.
Applicant:	Huger Senate Hotel Associates, LLC
Staff Recommendation:	Approval.

Detail:	<p>The applicant is requesting an encroachment for installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, as shown on the attached drawings; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none">1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.3. Grantee is responsible for maintaining landscaping and improvements.4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.7. All trees shall be protected and no large tree roots shall be removed from any existing trees.8. The five (5) parking spaces located in the public right-of-way of Senate Street are not solely for the proposed development located at 1043 Huger Street and may be metered.9. Installation of Street lighting by the developer to be coordinated with Traffic Engineering and Planning and Development Services to ensure that the proposed locations of the lights do not materially alter the proposed improvements.
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Permanent Encroachment Application and Checklist

Checklist for All Applications

A complete site plan application shall include the following information. Refer to the Procedures Manual for additional information about these requirements. Please initial to signify that the requested information has been provided.

	Applicant Initials	Staff Initials
A copy of this Application Checklist , completed by the applicant.	<input type="checkbox"/>	<input type="checkbox"/>
A completed and signed Application Form	<input type="checkbox"/>	<input type="checkbox"/>
Letters of Agency for all applications where the applicant is not the owner of the subject property	<input type="checkbox"/>	<input type="checkbox"/>
Pictures or specification sheet of the items to permanently encroach the Right-of-way	<input type="checkbox"/>	<input type="checkbox"/>
Existing Site Plan Please see page 4 below for required content.	<input type="checkbox"/>	<input type="checkbox"/>
Proposed Site Plan Please see page 4 below for required content.	<input type="checkbox"/>	<input type="checkbox"/>



Permanent Encroachment Application and Checklist

1. Applicant Information

Name Clancy Cipkala	
Company (if applicable) Solara Investments	
Address (street, city, state, zip) 944 Lake Murray Blvd Irmo, SC 29063	
Phone 803-978-5530	Email clancyinn@aol.com

2. Property Information

Address 1025/1043 Huger Street	
Tax Map Reference Number(s) R08911-01-05 & R08911-01-15	
Current use Vacant	Proposed use Hotel

3. Property Ownership

Does the applicant own the adjacent property? ☒ Yes ☐ No

If the applicant does not own the adjacent property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.



Permanent Encroachment Application and Checklist

4. Project Description

Provide a brief description of the project and list all items that will be placed in the right-of-way (walls, fences, columns, steps, irrigation systems, landscaping, driveways, pavers, sidewalks/walkways, planters, awnings, etc.)

Project is a hotel. The encroachment within the right-of-way will be parking spaces, new sidewalk, landscaping with irrigation and light poles.

For staff use only

Date received (M/D/Y): ____/____/____

By: _____



Permanent Encroachment Application and Checklist

5. Additional Submission Requirements

Existing Site Plan

This shall be a site plan of the existing conditions or a plat of survey, to scale and fully dimensioned.

Proposed Site Plan

The proposed site plan shall be prepared to scale and fully dimensioned, and include the following:

	Applicant	Staff
Total acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of lots and outlets (numbered and area in square feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of buildings (including setbacks from property lines and distances between buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of parking and access/driveways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of rights-of-way and/or easements for streets, railroads, and utility	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of streets, alleys, railroads, and utility lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section of sidewalk or right-of-way to be used for the encroachment	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings on the sidewalk	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location and height of all fences, walls, and exterior lighting in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vicinity map (at 1 inch equals 1,000 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

6. Acknowledgement

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment.

Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required.

In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or catimmons@columbiasc.net.

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation.



Permanent Encroachment Application and Checklist

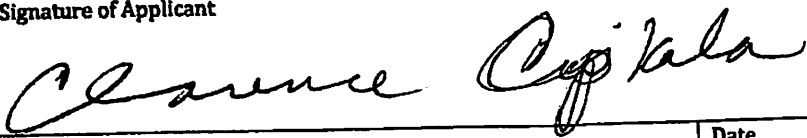
Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager.

Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Permittee understands and agrees that the privilege granted may be modified or terminated by the City of Columbia at any time without notice and that the privilege granted hereby is subject to applicant's compliance with the following conditions, restrictions or limitations:

Permittee must comply with all existing City of Columbia and any other state or federal codes, rules and regulations, as applicable including the Americans with Disabilities Act, now in existence or hereafter enacted.

7. Signature

Signature of Applicant	
	
Print Name	Date
Clarence Cipkala	10/13/2021

VISTA HOTEL

PREPARED FOR

SOLARA INVESTMENTS

JULY 2021



VICINITY MAP
Scale: 1" = 500'

SHEET INDEX

Existing Conditions	1
Demolition Plan	2
Proposed Site/Staking Plan	3
Phase 1 Sediment & Erosion Control Plan	4
Phase 2 Sediment & Erosion Control Plan	5
Storm Drain Profiles & Retaining Wall Elevation	6
Utility Plan	7
Landscaping Plan	8
Encroachment	9
Site Distance	10
Details	D1
Details	D2
Details	D3
Details	D4
Details	D5

JOB NO. 20-019

CONTACT INFORMATION
OWNER: SOLARA INVESTMENTS
844 LEXE HURSTAY BLVD.
SUITE 200
CLAYTON, CA 94520
(925) 218-1525

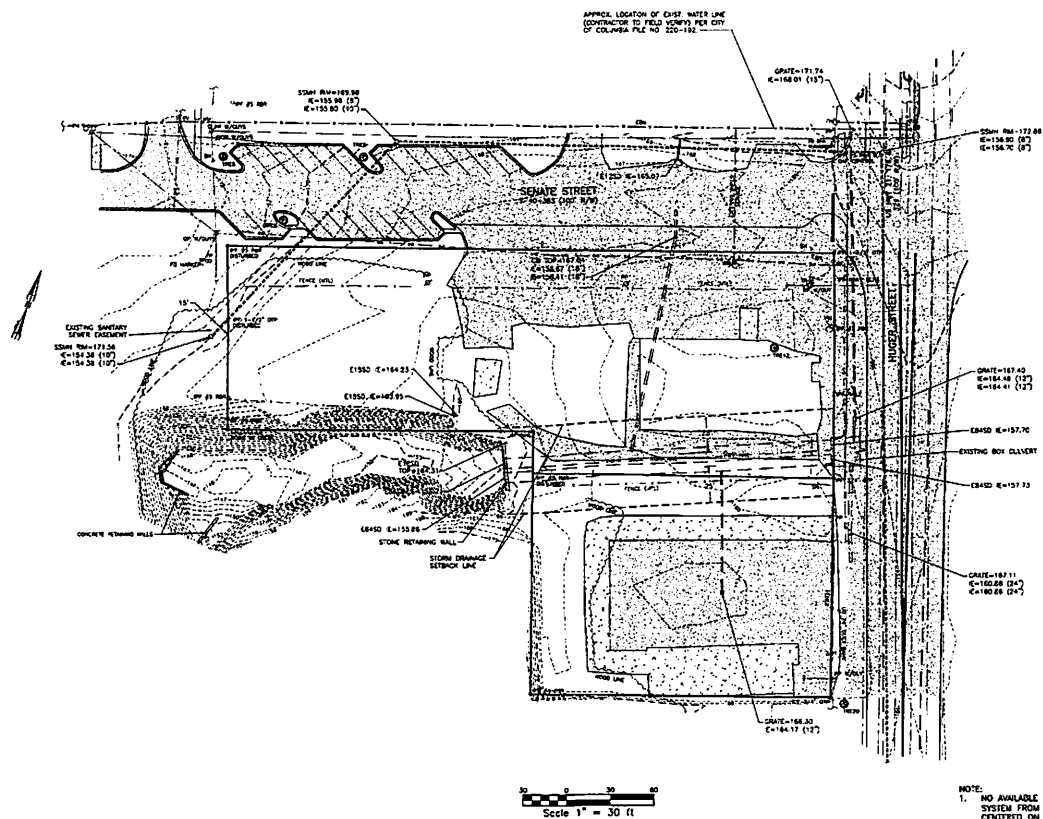


AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-sc.com • Email: info@aec-sc.com

NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ALL APPLICABLE AND CURRENT SCOT STANDARD DRAWINGS INCLUDING BUT NOT LIMITED TO, THE DRAWINGS INCLUDED OR REFERENCED WITHIN THESE PLANS AND THE APPROVED PERMIT PACKAGE.
- UPON SUBSTANTIAL PROJECT COMPLETION, CONTRACTOR TO CLEAR EXISTING CULVERTS/PIPES, CATCH BASINS, AND DITCHES ALONG FRONTAGE AND DOWNSTREAM AS NECESSARY TO ACHIEVE POSITIVE DRAINAGE.
- ALL PROPOSED OR RELOCATED SIGNAGE SHALL BE PLACED OR REPLACED IN ACCORDANCE WITH SECTION 850+000 AND INSTALLED ON SCOT APPROVED BREAKAWAY SIGN SUPPORTS AS DETAILED IN SECTION 654+000 IN THE SCOT STANDARD DRAWINGS.

3/24/2022 8:54 AM WELKES P:\20-019\DWG\CONSTRUCTION DWG\COVER.DWG



- DEMOLITION NOTES:**
1. REMOVE GAS MAIN ALONG SENATE STREET.
 2. REPLACE POWER COORDINATE WITH COLUMBIA ENERGY FOR PLACEMENT OF EXISTING OVERHEAD POWER LINES ALONG PLAZA STREET UNDERGROUND.
 3. REMOVE WATER METER (DANGER ST.) RELOCATE WATER (SENATE ST.).
 4. REMOVE EXISTING SANITARY FRANCHISE.
 5. REMOVE EXISTING CONCRETE FRANCHISE.
 6. REMOVE EXISTING STONE DRAINAGE STRUCTURE/S AND RELATED PAVING.
 7. REMOVE ALL FENCING.
 8. RELOCATE COMMUNICATION LINES AS REQUIRED. PARTICULAR ATTENTION AT THE INTERSECTION OF HAZEN ST. AND SENATE ST.
 9. REMOVE WOOD SIGNAGE ETC.

Scale 1" = 30 ft



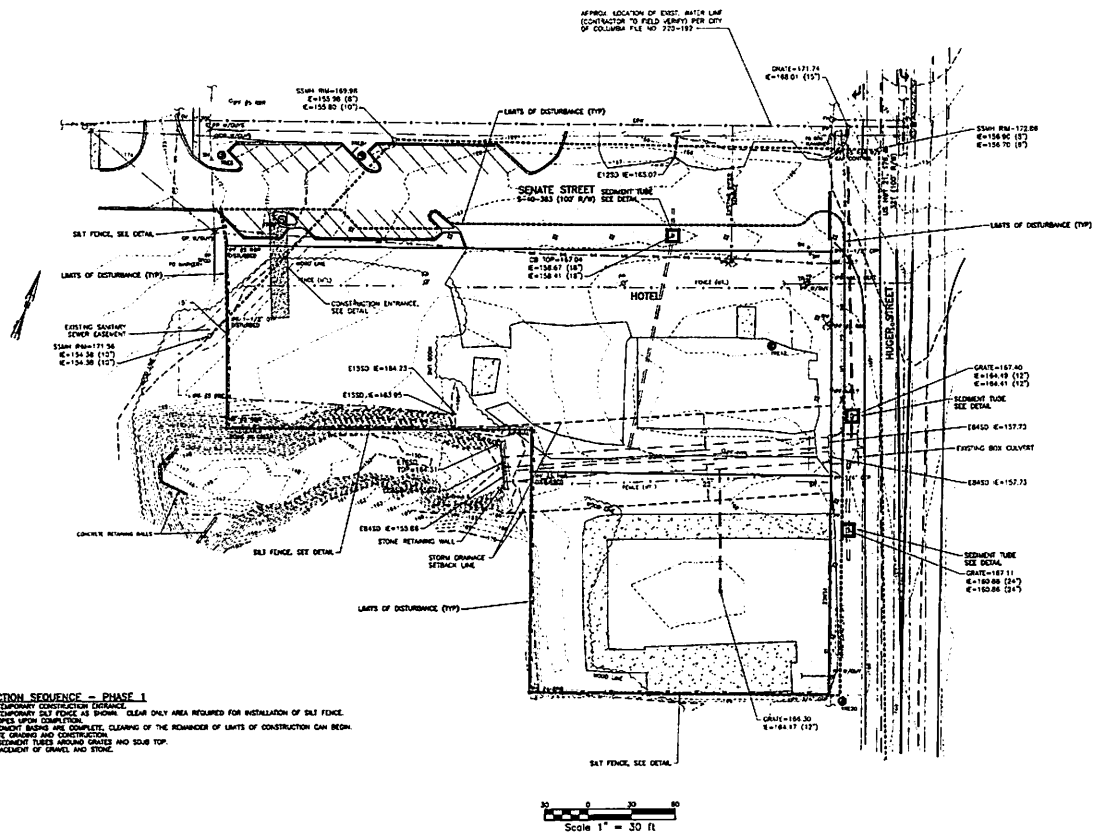
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 Internet: www.aec-usa.com • Email: info@aec-usa.com



NAME: RALPH L. ELL
 TITLE: P.E.
 NUMBER: 3488
 EXPIRATION: 12/31/10
 DATE: 08/24/09
 SIGN: [Signature]
 VERIFY: [Signature]

Vista Hotel
 PREPARED FOR
Solara Investments
 Richard Conroy, South Carolina
 Demolition Plan

2
 15
 15



- CONSTRUCTION SEQUENCE - PHASE 1**
1. INSTALL TEMPORARY CONSTRUCTION DISTANCE.
 2. INSTALL TEMPORARY SALT FENCE AS SHOWN. CLEAR ONLY AREA REQUIRED FOR INSTALLATION OF SALT FENCE.
 3. SETD SLOPES UPON COMPLETION.
 4. ONCE EROSION BASINS ARE COMPLETE, CLEARING OF THE REMAINDER OF LIMITS OF CONSTRUCTION CAN BEGIN.
 5. BEGIN SIDE GRADING AND CONSTRUCTION.
 6. INSTALL RETAINMENT TUBES AROUND GRASSY AND SOIL TOP.
 7. BEGIN PLACEMENT OF GRAVEL AND STONE.

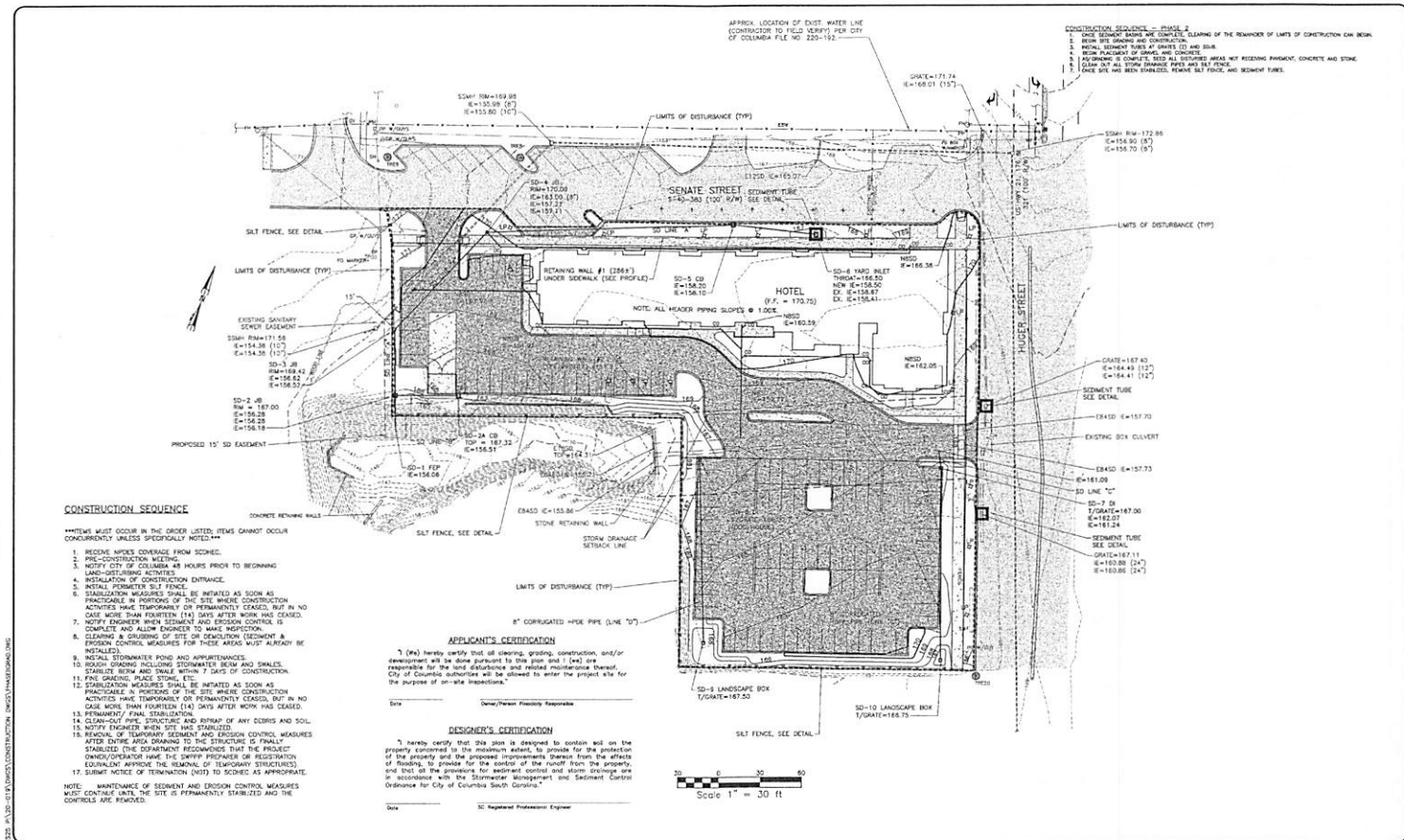
NO.	DATE	REVISION
1	05/23/25	GENERAL REVISIONS - PER CITY OF COLUMBIA

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 1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
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 Internet: www.aec-inc.com • Email: info@aec-inc.com



Vista Hotel
 PREPARED FOR
Solara Investments
 Richland County, South Carolina
 Phase I Section A Erosion Control Plan




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 FILE NO.



NO.	DATE	REVISION	BY
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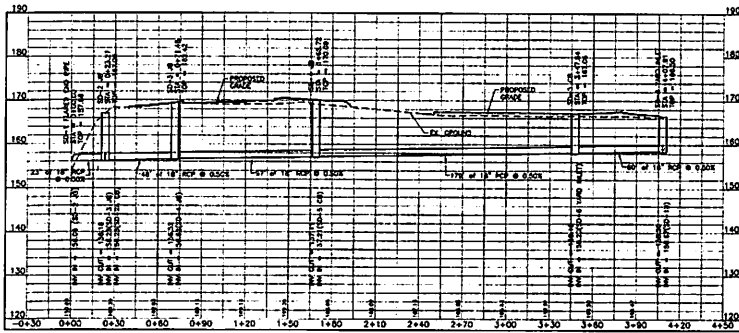
AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-sc.com • Email: info@aec-sc.com



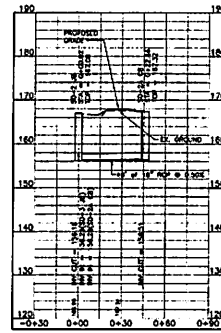
Vista Hotel
PREPARED FOR
Solara Investments
Richland County, South Carolina
Phase II Sediment & Erosion Control Plan



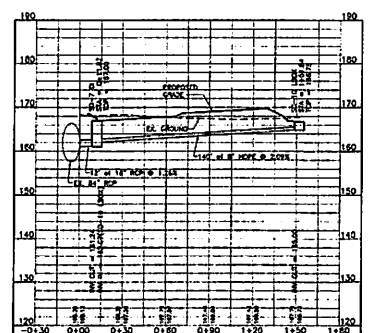
15
P.L.B. INC.



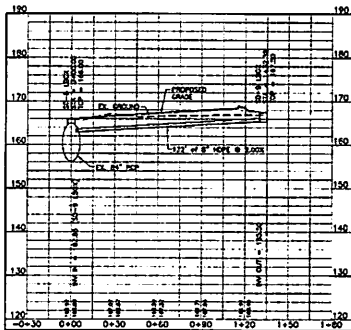
STORM DRAIN LINE "A"
SCALE: 1" = 30' HORIZ
1" = 10' VERT



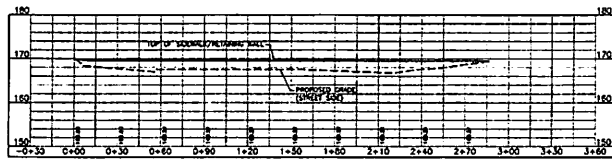
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1" = 10' VERT



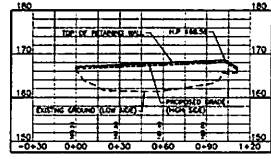
STORM DRAIN LINE "C"
SCALE: 1" = 30' HORIZ
1" = 10' VERT



STORM DRAIN LINE "D"
SCALE: 1" = 30' HORIZ
1" = 10' VERT



RETAINING WALL #1
SCALE: 1" = 30' HORIZ
1" = 10' VERT



RETAINING WALL #2
SCALE: 1" = 30' HORIZ
1" = 10' VERT

NO.	DATE	REVISION	BY
1	03/22/24	GENERAL REVISIONS - PER CITY OF COLUMBIA	THE

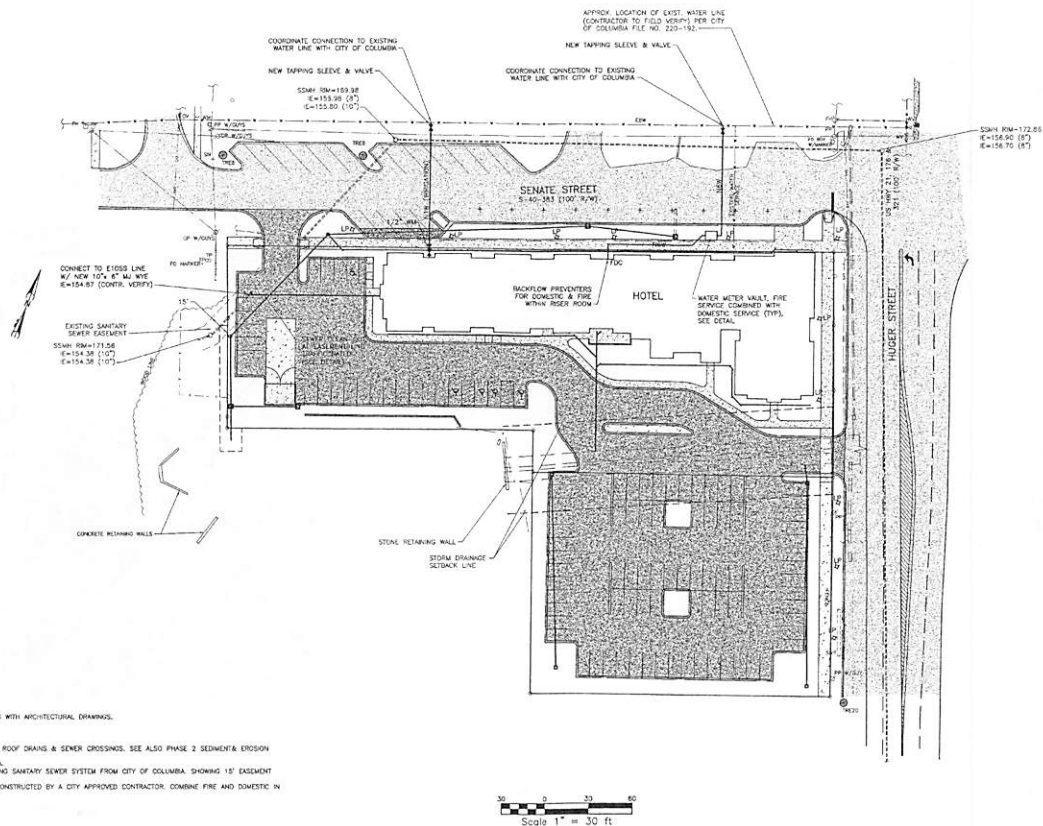
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DATE	03/22/24
BY	THE
CHECKED	
IN CHARGE	
PROJECT	
LOCATION	
SCALE	

Vista Hotel
PREPARED FOR
Solara Investments
Richland County, South Carolina
South Drive Pavement & Retaining Wall Elevation

6
15



WATER PROVIDER
CITY OF COLUMBIA
UTILITIES DEPARTMENT
PO BOX 147
COLUMBIA, SC 29217
803-545-3400

SEWER PROVIDER
CITY OF COLUMBIA
UTILITIES DEPARTMENT
PO BOX 147
COLUMBIA, SC 29217
803-545-3400

SCHWER PROVIDER
CITY OF COLUMBIA
UTILITIES DEPARTMENT
PO BOX 147
COLUMBIA, SC 29217
803-545-3400

NOTES:

1. VERIFY THE-INS OF UTILITY LOCATIONS WITH ARCHITECTURAL DRAWINGS.
 - a) WATER
 - b) SEWER
 - c) OTHER
2. COORDINATE WITH CONTRACTOR FOR ROOF DRAIN & SEWER CROSSINGS. SEE ALSO PHASE 3 SEDIMENT & EROSION CONTROL PLAN.
3. COORDINATE WITH CITY OF COLUMBIA.
4. NO AVAILABLE DRAWINGS FOR EXISTING SANITARY SEWER SYSTEM FROM CITY OF COLUMBIA, SHOWING 15' EASEMENT CENTERED ON LINE.
5. SANITARY SERVICE MUST BE CONSTRUCTED BY A CITY APPROVED CONTRACTOR. COMBINE FIRE AND DOMESTIC IN THE METER PIT.

NO	DATE	REVISION	BY
1.	10/12/21	ADDED CLEAROUT	JH
2.	10/27/21	REVISED WATER METER VAULT LOCATION	JH
3.	01/15/22	REVISED WATER METER VAULT LOCATION & ADDED NOTE FOR CLEAROUT	JH
4.	03/22/22	GENERAL REVISIONS - FOR CITY OF COLUMBIA	TM



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Internet: www.aec-sc.com • Email: ae@aec-sc.com

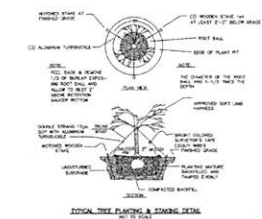
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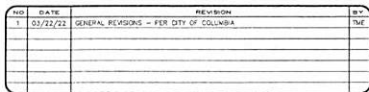
DATE JULY 2021
SCALE AS SHOWN
DRAWN NAAB
DESIGNED —
CHECKED JSP
JOB NO. 20-018
S&D FILE UTILITY
LAYOUT UTILITY

Vista Hotel
PREPARED FOR
Solara Investments
Richland County, South Carolina
Utility Plan





<p>Vista Hotel</p> <p>PREPARED FOR</p> <p>Solara Investments</p> <p>Richland County, South Carolina</p> <p>Landscaping Plan</p>	<div style="border: 1px solid black; padding: 5px;"> <small>ORIGINAL NO.</small> <div style="border: 1px solid black; border-radius: 50%; width: 30px; height: 30px; display: flex; align-items: center; justify-content: center; margin: 0 auto;">8</div> </div> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <small>OF</small> 15 </div> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <small>FILE NO.</small> </div>
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AE
AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P. O. Box 2299 • Cayce, SC 29717
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-ae.com • Email: info@aec-ae.com
THE FIRM AND ITS STAFF ARE NOT PROVIDING ENGINEERING OR ARCHITECTURAL SERVICES UNDER ANY CONTRACT OR AGREEMENT WITH ANY OTHER FIRM OR INDIVIDUAL. THE FIRM AND ITS STAFF ARE NOT PROVIDING ENGINEERING OR ARCHITECTURAL SERVICES UNDER ANY CONTRACT OR AGREEMENT WITH ANY OTHER FIRM OR INDIVIDUAL. THE FIRM AND ITS STAFF ARE NOT PROVIDING ENGINEERING OR ARCHITECTURAL SERVICES UNDER ANY CONTRACT OR AGREEMENT WITH ANY OTHER FIRM OR INDIVIDUAL.



DATE JAN 20 2011
 LOCAL AS 21-0200
 STATE MA
 COUNTY W
 JUDGE 2011-011
 CASE FILED TECHNOLOGY
 LAYOUT TECHNOLOGY

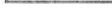
Vista Hotel
PREPARED FOR
Solara Investments
Richland County, South Carolina
Encroachment

1. IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BEAMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.



SILT FENCE INLET PROTECTION DETAIL

- SILT FENCE DETAIL
NOT TO SCALE

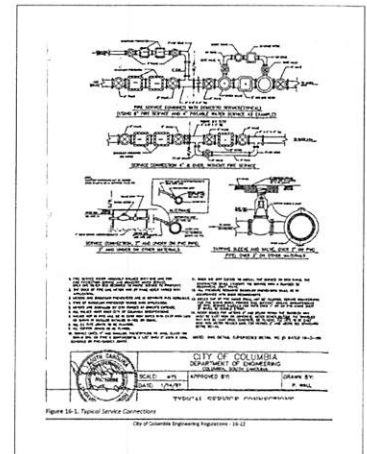
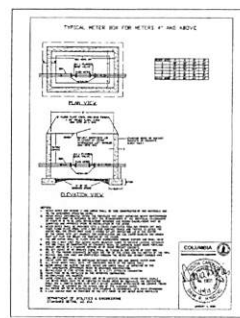
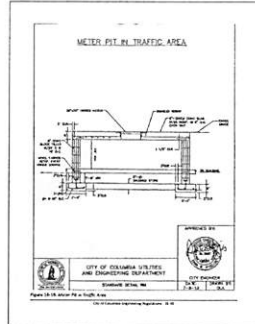
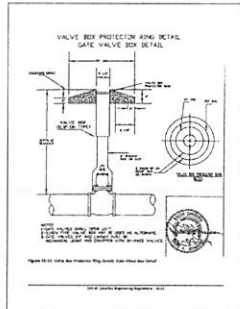
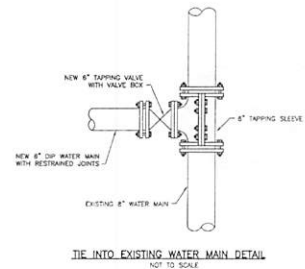
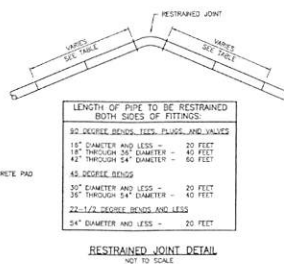
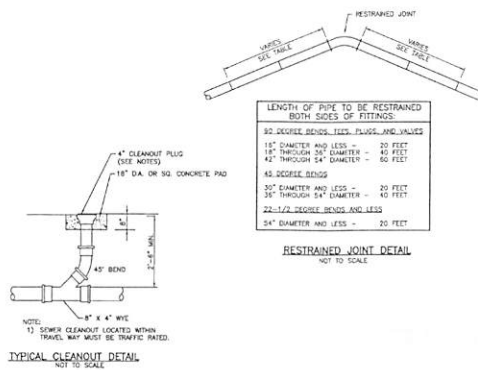
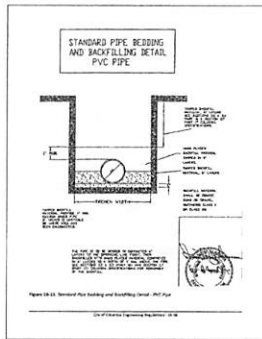








15
 15



NOTE:
1) BACKFLOW PREVENTERS FOR FIRE & DOMESTIC LINES TO BE INSTALLED IN RISER ROOM OF BUILDING.
FIRE SERVICE COMBINED WITH DOMESTIC SERVICE (TYP)
(USING 6\"/>

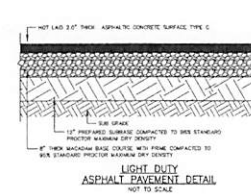
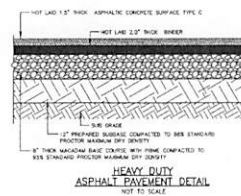
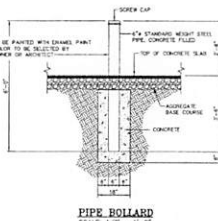
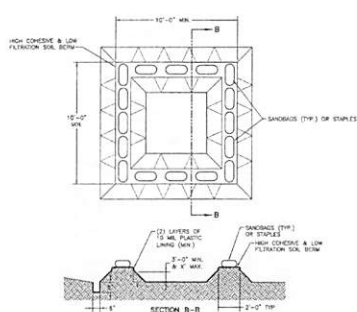
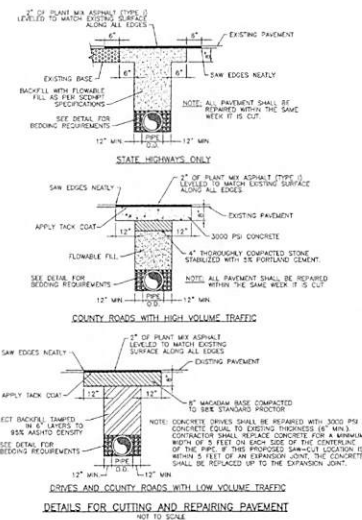
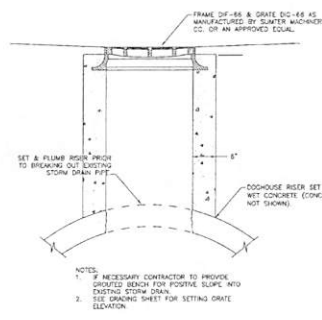
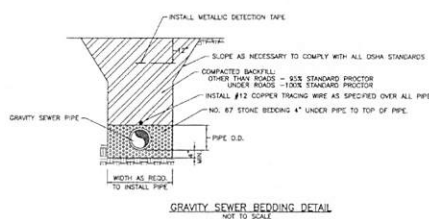
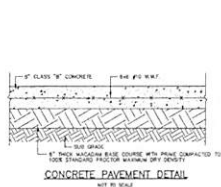
NO.	DATE	REVISION
1	03/22/22	GENERAL REVISIONS - PER CITY OF COLUMBIA

AE
AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29715
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aecac.com • Email: info@aecac.com



Vista Hotel
PREPARED FOR
Solara Investments
Richland County, South Carolina
Details

D3
15
PLAN NO.

[illegible]

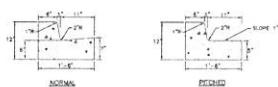
AE AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 Fax: (803) 791-8110
Internet: www.aec-nc.com Email: info@aec-nc.com

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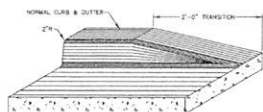


SATY 1000 2021
MODEL A8 型一分時
DRAMA 小説
DESCRIPTION -
CONTENTS 1冊
JOB NO 202-0119
CARD FILE 分巻7A(1)巻8-A
LAYOUT 標準A4用紙 4

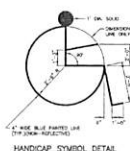
<p style="text-align: center; margin: 0;">Vista Hotel</p> <p style="text-align: center; margin: 0;">PREPARED FOR</p> <p style="text-align: center; margin: 0;">Solara Investments</p> <p style="text-align: center; margin: 0;">Richland County, South Carolina</p> <p style="text-align: center; margin: 0;">Details</p>	<div style="border: 1px solid black; padding: 5px; text-align: center;"> <small>GRAPHIC NO.</small>  <small>OF</small> 15 </div> <div style="border: 1px solid black; padding: 5px; text-align: center;"> <small>FILE NO.</small> </div>
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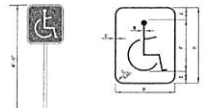
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NOT TO SCALE



FEATHERING OF CURB AND GUTTER DETAIL
NOT TO SCALE



HANDICAP SYMBOL DETAIL
NOT TO SCALE



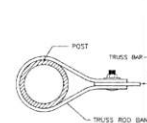
HANDICAP SIGN DETAIL
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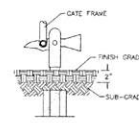
SIDEWALK EXPANSION DETAIL
NOT TO SCALE



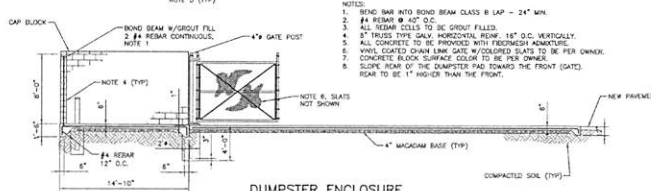
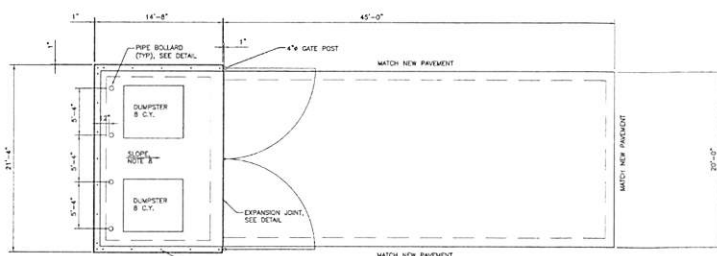
TYPICAL SIDEWALK SECTION
NOT TO SCALE



TYPICAL TRUSS ROD BAND
NOT TO SCALE



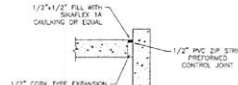
TYPICAL GATE KEEPER
NOT TO SCALE
PROVIDE 1 EA. GATE KEEPER PER LEAF AT LOCATION
AS DIRECTED BY THE OWNER



DUMPSTER ENCLOSURE
NOT TO SCALE
(TWO REQUIRED)

TENSION LAP SPICE LENGTHS FOR GRADE 60 REINFORCING									
BAR SIZE	3,000 PSI CONCRETE *				BAR SIZE	4,000 PSI CONCRETE *			
	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS		TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
#3	18	21	17	19	#14	18	24	15	19
#4	21	25	21	27	#16	23	30	18	23
#5	25	30	25	32	#18	28	36	22	28
#6	30	36	30	38	#20	33	42	25	33
#8	36	42	36	45	#22	39	51	30	39
#10	42	51	42	54	#24	45	60	36	45
#12	48	58	48	63	#26	51	68	42	51
#14	54	66	54	72	#28	57	78	48	57
#16	60	75	60	81	#30	63	87	54	63

* NORMAL WEIGHT CONCRETE



EXPANSION JOINT DETAIL
NOT TO SCALE

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