

ORDINANCE NO.: 2022-032

*Granting an encroachment to Huger Senate Hotel Associates, LLC for the use of the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street for the installation and maintenance of parking spaces, sidewalks, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, Richland County TMS#08911-01-05 and 08911-01-15*

WHEREAS, Huger Senate Hotel Associates, LLC (hereinafter "Grantee") desires to utilize a portion of the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street for the installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, as shown on the attached drawings; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 21<sup>st</sup> day of June, 2022, that Grantee is hereby granted the right to use the right of way areas of the 1000 block of Huger Street and the 400 block of Senate Street adjacent to 1025 and 1043 Huger Street, Richland County TMS#08911-01-05 and 08911-01-15, for the installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation as shown on the attached drawings.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by Grantee's construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED further that in the event the City has to make repairs or maintain utility lines located within the encroachment area the City will replace any items removed for the utility repair or maintenance with like items to those removed; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

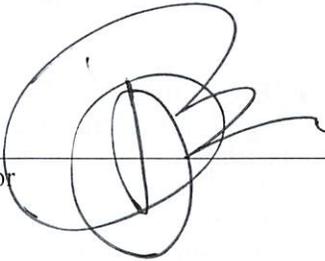
PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.
2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.
3. Grantee is responsible for maintaining landscaping and improvements.
4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.
5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.
6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.
7. All trees shall be protected and no large tree roots shall be removed from any existing trees.
8. The five (5) parking spaces located in the public right-of-way of Senate Street are not solely for the proposed development located at 1043 Huger Street and may be metered.
9. Installation of Street lighting by the developer to be coordinated with Traffic Engineering and Planning and Development Services to ensure that the proposed locations of the lights do not materially alter the proposed improvements.

BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

Assistant City Manager Gentry

  
 \_\_\_\_\_  
 Mayor

Approved by:

  
 \_\_\_\_\_  
 City Manager

Approved as to form:

  
 \_\_\_\_\_  
 City Attorney

ATTEST:

  
 \_\_\_\_\_  
 City Clerk

Introduced: 6/7/2022

Final Reading: 6/21/2022

**CITY COUNCIL  
ENCROACHMENT SUMMARY  
2022-032**



**1000 BLOCK OF HUGER STREET, 400 BLOCK OF SENATE STREET  
ADJACENT TO 1025 AND 1043 HUGER STREET  
PARKING SPACES, SIDEWALKS, LANDSCAPING, AND IRRIGATION**

<b>Subject Property:</b>	Right-of-way adjacent to 1025 and 1043 Huger Street
<b>Council District:</b>	2
<b>Proposal:</b>	The applicant is requesting an encroachment for installation and maintenance of parking spaces, sidewalks, landscaping, and irrigation.
<b>Applicant:</b>	Huger Senate Hotel Associates, LLC
<b>Staff Recommendation:</b>	Approval.

<b>Detail:</b>	<p>The applicant is requesting an encroachment for installation and maintenance of five parking spaces measuring approximately eleven (11') feet in width twenty-five (25') feet in length, sidewalks measuring approximately eight (8') feet in width four hundred thirty (430') feet in length, landscaping, and irrigation adjacent to 1025 and 1043 Huger Street, as shown on the attached drawings; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none"> <li>1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.</li> <li>2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.</li> <li>3. Grantee is responsible for maintaining landscaping and improvements.</li> <li>4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.</li> <li>5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.</li> <li>6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.</li> <li>7. All trees shall be protected and no large tree roots shall be removed from any existing trees.</li> <li>8. The five (5) parking spaces located in the public right-of-way of Senate Street are not solely for the proposed development located at 1043 Huger Street and may be metered.</li> <li>9. Installation of Street lighting by the developer to be coordinated with Traffic Engineering and Planning and Development Services to ensure that the proposed locations of the lights do not materially alter the proposed improvements.</li> </ol>
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# City of Columbia

## City of Columbia GIS



Thursday, May 5, 2022



### CITY OF COLUMBIA GIS DATA DISCLAIMER

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.





# Permanent Encroachment Application and Checklist

## Checklist for All Applications

A complete site plan application shall include the following information. Refer to the Procedures Manual for additional information about these requirements. Please initial to signify that the requested information has been provided.

		Applicant Initials	Staff Initials
<b>A copy of this Application Checklist</b> , completed by the applicant.		<input type="checkbox"/>	<input type="checkbox"/>
<b>A completed and signed Application Form</b>		<input type="checkbox"/>	<input type="checkbox"/>
<b>Letters of Agency</b> for all applications where the applicant is not the owner of the subject property		<input type="checkbox"/>	<input type="checkbox"/>
<b>Pictures or specification sheet</b> of the items to permanently encroach the Right-of-way		<input type="checkbox"/>	<input type="checkbox"/>
<b>Existing Site Plan</b> Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format) – may be 8 ½ inches x 11 inches if legible	<input type="checkbox"/>	<input type="checkbox"/>
<b>Proposed Site Plan</b> Please see page 4 below for required content.	1 copy: min. 18 x 24 inches or 1 digital copy (pdf format) – may be 8 ½ inches x 11 inches if legible	<input type="checkbox"/>	<input type="checkbox"/>



# Permanent Encroachment Application and Checklist

## 1. Applicant Information

Name Clancy Cipkala	
Company (if applicable) Solara Investments	
Address (street, city, state, zip) 944 Lake Murray Blvd Irmo, SC 29063	
Phone 803-978-5530	Email clancyinn@aol.com

## 2. Property Information

Address 1025/1043 Huger Street	
Tax Map Reference Number(s) R08911-01-05 & R08911-01-15	
Current use Vacant	Proposed use Hotel

## 3. Property Ownership

Does the applicant own the adjacent property?  Yes  No

If the applicant does not own the adjacent property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.



# Permanent Encroachment Application and Checklist

## 4. Project Description

Provide a brief description of the project and list all items that will be placed in the right-of-way (walls, fences, columns, steps, irrigation systems, landscaping, driveways, pavers, sidewalks/walkways, planters, awnings, etc.)

Project is a hotel. The encroachment within the right-of-way will be parking spaces, new sidewalk, landscaping with irrigation and light poles.

*For staff use only*

Date received (M/D/Y): \_\_\_\_/\_\_\_\_/\_\_\_\_

By: \_\_\_\_\_



# Permanent Encroachment Application and Checklist

## 5. Additional Submission Requirements

### Existing Site Plan

This shall be a site plan of the existing conditions or a plat of survey, to scale and fully dimensioned.

### Proposed Site Plan

The proposed site plan shall be prepared to scale and fully dimensioned, and include the following:

	Applicant	Staff
Total acreage	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of lots and outlets (numbered and area in square feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of buildings (including setbacks from property lines and distances between buildings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of parking and access/driveways	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location of rights-of-way and/or easements for streets, railroads, and utility lines upon and abutting subject property	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Section of sidewalk or right-of-way to be used for the encroachment	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings on the sidewalk	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed placement of permanent items and furnishings in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location and height of all fences, walls, and exterior lighting in the right-of-way	<input checked="" type="checkbox"/>	<input type="checkbox"/>
North arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vicinity map (at 1 inch equals 1,000 feet)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## 6. Acknowledgement

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment.

Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required.

In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or [catimmons@columbiasc.net](mailto:catimmons@columbiasc.net).

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation.



# Permanent Encroachment Application and Checklist

Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager.

Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Permittee understands and agrees that the privilege granted may be modified or terminated by the City of Columbia at any time without notice and that the privilege granted hereby is subject to applicant's compliance with the following conditions, restrictions or limitations:

Permittee must comply with all existing City of Columbia and any other state or federal codes, rules and regulations, as applicable including the Americans with Disabilities Act, now in existence or hereafter enacted.

## 7. Signature

Signature of Applicant	
<i>Clarence Cipkala</i>	
Print Name	Date
Clarence Cipkala	10/13/2021

# VISTA HOTEL

PREPARED FOR  
SOLARA INVESTMENTS  
JULY 2021



**VICINITY MAP**  
Scale: 1" = 500'

**SHEET INDEX**

Existing Conditions	1
Demolition Plan	2
Proposed Site/Staking Plan	3
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Phase 2 Sediment & Erosion Control Plan	5
Storm Drain Profiles & Retaining Wall Elevation	6
Utility Plan	7
Landscaping Plan	8
Encroachment	9
Site Distance	10
Details	D1
Details	D2
Details	D3
Details	D4
Details	D5

**JOB NO. 20-019**

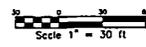
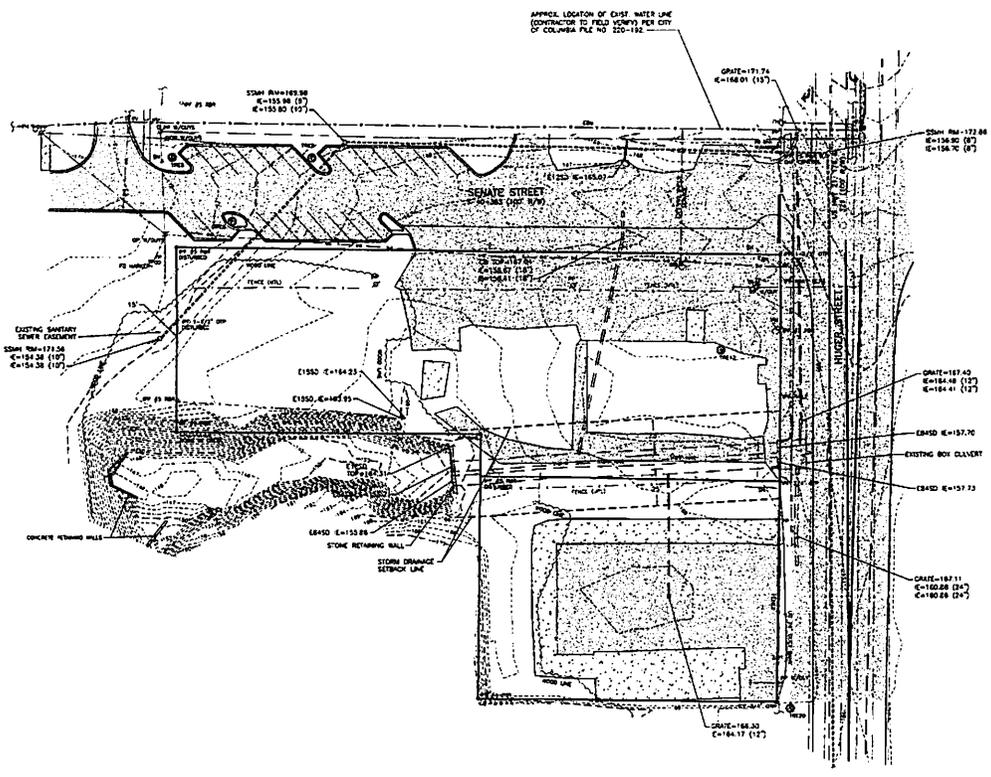
**CONTACT INFORMATION**  
OWNER: SOLARA INVESTMENTS  
844 LEE HIGHWAY SWD  
SUITE 200  
CLAYTON, GA 30520  
(800) 318-1528



**AMERICAN ENGINEERING CONSULTANTS, INC.**  
1300 12th Street • P.O. Box 2299 • Cayce, SC 29171  
Phone: (803) 791-1400 • Fax: (803) 791-8110  
Internet: [www.aec-sc.com](http://www.aec-sc.com) • Email: [info@aec-sc.com](mailto:info@aec-sc.com)

- NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ALL APPLICABLE AND CURRENT SCOTT STANDARD DRAWINGS INCLUDING, BUT NOT LIMITED TO, THE DRAWINGS INCLUDED OR REFERENCED WITHIN THESE PLANS AND THE APPROVED PERMIT PACKAGE.
  2. UPON SUBSTANTIAL PROJECT COMPLETION, CONTRACTOR TO CLEAR EXISTING CULVERTS/PIPES, CATCH BASINS, AND DITCHES ALONG FRONTAGE AND DOWNSTREAM AS NECESSARY TO ACHIEVE POSITIVE DRAINAGE.
  3. ALL PROPOSED OR RELOCATED SIGNAGE SHALL BE PLACED OR REPLACED IN ACCORDANCE WITH SECTION 8504-000 AND INSTALLED ON SCOTT APPROVED BREAKAWAY SIGN SUPPORTS AS DETAILED IN SECTION 654-000 IN THE SCOTT STANDARD DRAWINGS.

3/7/2022 8:54 AM MELKSD3 P:\20-019\DWG\CONTRACTOR DWG\COVER.DWG



NOTE:  
1. NO AVAILABLE DRAWINGS FOR EXISTING SANITARY SEWER SYSTEM FROM CITY OF COLUMBIA SHOWING 15' EASEMENT CENTERED ON LINE

NO.	DATE	REVISION	BY

**AE** AMERICAN ENGINEERING CONSULTANTS, INC.  
 1300 15th Street, Suite A - P.O. Box 2259 - Caynes, SC 29171  
 Phone: (803) 791-1400 - Fax: (803) 791-8110  
 Internet: www.aec-ac.com - Email: info@aec-ac.com  
 14 DAY 90% GUARANTEE ON ALL WORK. IF NOT SATISFIED, WE WILL REFUND 90% OF OUR FEE.

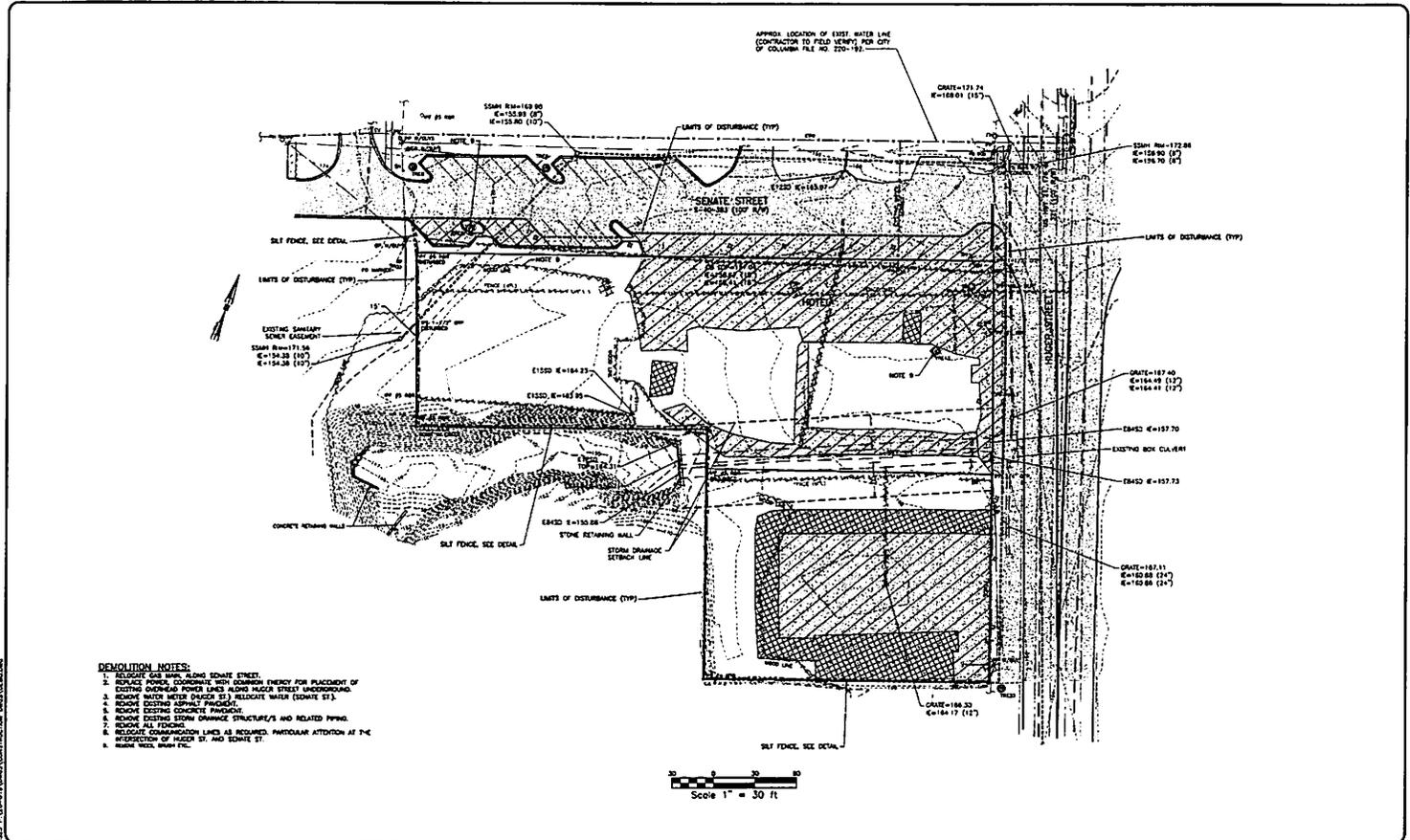


DATE	APR. 2021
DESIGN	J.B. BROWN
DRAWN	J.B. BROWN
CHECKED	J.B. BROWN
SCALE	AS SHOWN
DATE P.L.D.	APR. 2021
APPROVED	J.B. BROWN

Vista Hotel  
 PREPARED FOR  
**Solara Investments**  
 Richland County, South Carolina  
 Existing Conditions

15  
 15

PLAN 155-103.50 - SANITARY SEWER EXHAUST - EXISTING CONDITIONS



- DEMOLITION NOTES:**
1. REMOVE CURB MARKS ALONG SENATE STREET.
  2. REPLACE POWER COORDINATE WITH COMMON TRENCH FOR PLACEMENT OF EXISTING OVERHEAD POWER LINES ALONG HAZARD STREET UNDERGROUND.
  3. REMOVE WATER METER (DANGER ST) RELOCATE WATER (SENATE ST).
  4. REMOVE EXISTING SANITARY FRANCHISE.
  5. REMOVE EXISTING CONCRETE FRANCHISE.
  6. REMOVE EXISTING STONE DRAINAGE STRUCTURE/S AND RELATED PIPING.
  7. REMOVE ALL FENCING.
  8. RELOCATE COMMUNICATION LINES AS REQUIRED. PARTICULAR ATTENTION AT THE INTERSECTION OF HAZARD ST. AND SENATE ST.
  9. REMOVE WOOD SIGNAGE PILE.

NO.	DATE	REVISION	BY
1	03/22/21	GENERAL REVISIONS - PER CITY OF COLUMBIA	TML

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 1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171  
 Phone: (803) 791-1400 • Fax: (803) 791-8110  
 Internet: www.aec-nc.com • Email: info@ae-nc.com



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1	03/22/21	GENERAL REVISIONS - PER CITY OF COLUMBIA	TML

**Vista Hotel**  
 PREPARED FOR  
**Solara Investments**  
 Richland County, South Carolina  
 Demolition Plan

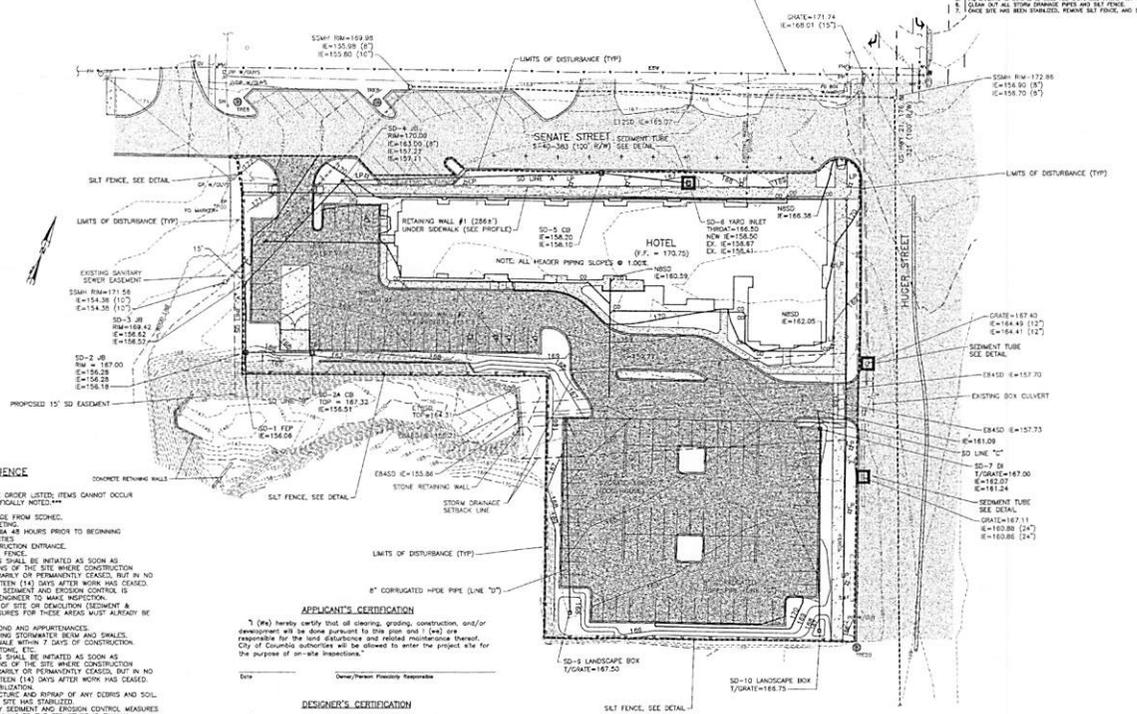
2  
 OF  
 15  
 PLAN NO.





APPROX. LOCATION OF DUST WATER LINE  
(CONTRACTOR TO FIELD VERIFY) PER CITY  
OF COLUMBIA FILE NO. 220-192

- CONSTRUCTION SEQUENCE - PHASE II**
1. CLEAR SITE OF OBSTACLES AND COMPLETE CLEARING OF THE REMAINDER OF LIMITS OF CONSTRUCTION ON BLOCK FROM SEE GRADING AND CONSTRUCTION.
  2. INSTALL RETAINING WALLS AT GRATES (2) AND BULK HEADS.
  3. BEGIN PLACEMENT OF GRAVEL AND CONCRETE.
  4. BEGIN CONSTRUCTION OF STORM MAIN, EXISTING MAINS NOT REVISIONS, PAVEMENT, CONCRETE AND STONE.
  5. CLEAN OUT ALL STORM DRAINAGE PIPES AND SALT FENCE.
  6. GRADE SITE HAS BEEN FINISHED, REMOVE SALT FENCE, AND BEGINMENT PIPES.



**CONSTRUCTION SEQUENCE**

- \*\*ITEMS MUST OCCUR IN THE ORDER LISTED. ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.\*\*
1. RECEIVE NPLS COVERAGE FROM SCHEIC.
  2. PRE-CONSTRUCTION MEETING.
  3. NOTIFY CITY OF COLUMBIA 48 HOURS PRIOR TO BEGINNING LAND-USE/GRADING ACTIVITIES.
  4. INSTALLATION OF CONSTRUCTION ENTRANCE.
  5. INSTALL PERMITS SALT FENCE.
  6. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FORTY-EIGHT (48) DAYS AFTER WORK HAS CEASED.
  7. NOTIFY ENGINEER WHEN SEDIMENT AND EROSION CONTROL IS COMPLETE AND ALLOW ENGINEER TO MAKE INSPECTION.
  8. CLEANING & GRUBBING OF SITE OR DEMOLITION (CEMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
  9. INSTALL STORMWATER POND AND APPURTENANCES.
  10. ROUGH GRADING INCLUDING STORMWATER BENCH AND SLOPES, STABILIZE BENCH AND SLOPE WITHIN 7 DAYS OF CONSTRUCTION.
  11. FIN GRADING, FENCE STONE, ETC.
  12. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FORTY-EIGHT (48) DAYS AFTER WORK HAS CEASED.
  13. PERMANENT/ FINAL STABILIZATION.
  14. CLEAN-UP/ FINE STRUCTURE AND REMOVAL OF ANY OBSTACLES AND SOIL.
  15. NOTIFY ENGINEER WHEN SITE HAS BEEN STABILIZED.
  16. REMOVAL OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE GOVERNMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE DUMPY PREPARED OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
  17. SUBMIT NOTICE OF TERMINATION (NOT) TO SCHEIC AS APPROPRIATE.
- NOTE: MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES MUST CONTINUE UNTIL THE SITE IS PERMANENTLY STABILIZED AND THE CONTROLS ARE REMOVED.

**APPLICANT'S CERTIFICATION**

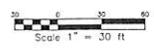
I (we) hereby certify that all clearing, grading, construction, and/or development will be done pursuant to this plan and I (we) are responsible for the land disturbance and related maintenance thereof. City of Columbia authorities will be allowed to enter the project site for the purpose of on-site inspection.

Date: \_\_\_\_\_ Owner/Owner's Representative

**DESIGNER'S CERTIFICATION**

I hereby certify that this plan is designed to contain soil on the property concerned to the maximum extent, to provide for the protection of the property and the proposed improvements thereon from the effects of flooding, to provide for the control of the runoff from the property, and that all the provisions for sediment control and storm drainage are in accordance with the Stormwater Management and Sediment Control Ordinance for City of Columbia South Carolina.

Date: \_\_\_\_\_ S.C. Registered Professional Engineer



NO.	DATE	REVISION	BY
1	03/27/22	GENERAL REVISIONS - PER CITY OF COLUMBIA	IME

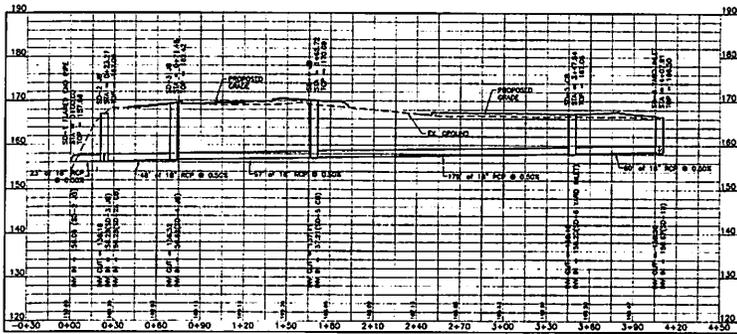
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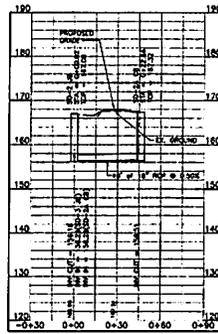
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SCALE	AS SHOWN
PROJECT	MAOR
DESIGNER	IME
CHECKED	IME
DATE	03/27/22
SCALE	AS SHOWN
PROJECT	MAOR
DESIGNER	IME
CHECKED	IME

**Vista Hotel**  
 PREPARED FOR  
**Solara Investments**  
 Richland County, South Carolina  
 Phase II Sediment & Erosion Control Plan

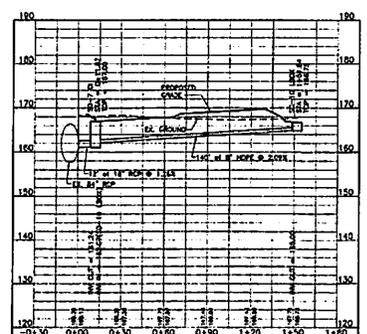




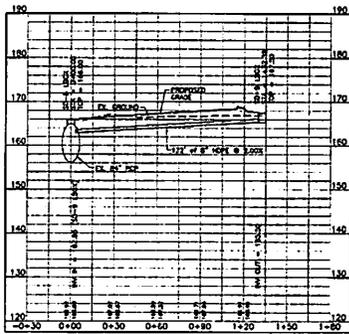
STORM DRAIN LINE "A"  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT



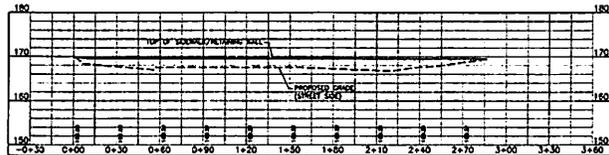
STORM DRAIN LINE "B"  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT



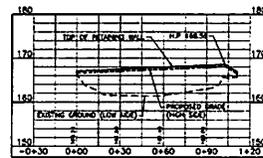
STORM DRAIN LINE "C"  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT



STORM DRAIN LINE "D"  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT



RETAINING WALL #1  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT



RETAINING WALL #2  
SCALE: 1" = 30' HORIZ  
1" = 10' VERT

NO.	DATE	REVISION	BY
1	03/22/21	GENERAL REVISIONS - PER CITY OF COLUMBIA	ME

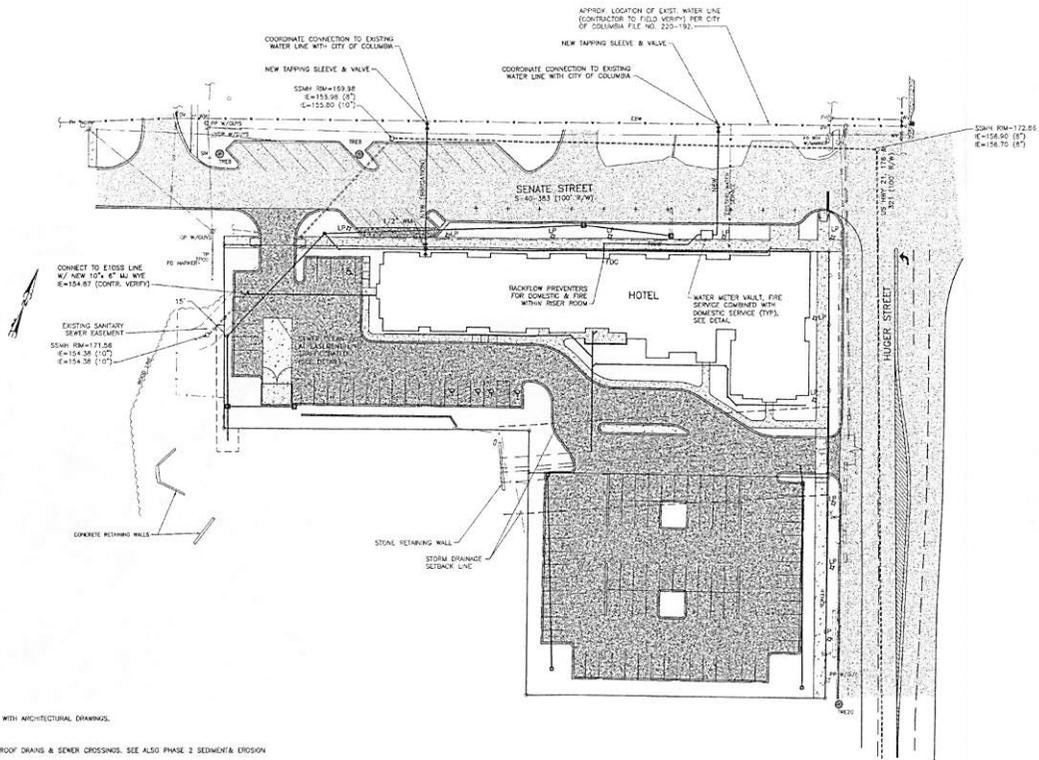
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Phone: (803) 791-1400 • Fax: (803) 791-8110  
Internet: www.aec-ae.com • Email: aec@aec.com



DATE	SCALE
BY	BY
CHECKED	CHECKED
APPROVED	APPROVED
DATE	DATE

Vista Hotel  
PREPARED FOR  
Solara Investments  
Richland County, South Carolina  
Storm Drain Profiles & Retaining Wall Elevation

6  
15



**WATER PROVIDER**  
CITY OF COLUMBIA  
UTILITIES DEPARTMENT  
PO BOX 147  
COLUMBIA, SC 29217  
803-545-3400

**SEWER PROVIDER**  
CITY OF COLUMBIA  
UTILITIES DEPARTMENT  
PO BOX 147  
COLUMBIA, SC 29217  
803-545-3400

- NOTES:**
1. VERIFY TIE-IN OF UTILITY LOCATIONS WITH ARCHITECTURAL DRAWINGS.
  2. WATER  
3. SEWER  
4. OTHER
  2. COORDINATE WITH CONTRACTOR FOR ROOF DRAINS & SEWER CROSSINGS. SEE ALSO PHASE 2 SEDIMENT & EROSION CONTROL PLAN.
  3. COORDINATE WITH CITY OF COLUMBIA.
  4. NO AVAILABLE DRAWINGS FOR EXISTING SANITARY SEWER SYSTEM FROM CITY OF COLUMBIA, SHOWING 10' EXASEMENT CENTERED ON LINE.
  5. NEW (PRE) SERVICE MUST BE CONSTRUCTED BY A CITY APPROVED CONTRACTOR. COMBINE FIRE AND DOMESTIC IN THE METER PIT.



NO.	DATE	REVISION	BY
1.	10/12/21	ADDD CLEANOUT	JHP
2.	10/22/21	REVISED WATER METER VAULT LOCATION	JHP
3.	03/22/22	REVISED WATER METER VAULT LOCATION & ADDED NOTE FOR CLEANOUT	JHP
4.	03/22/22	GENERAL REVISIONS - PER CITY OF COLUMBIA	TMR

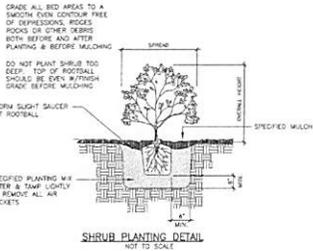
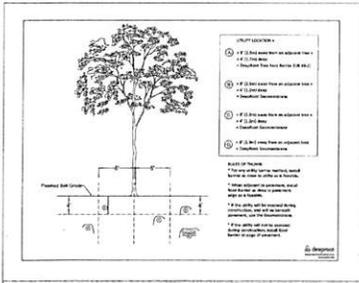
**AMERICAN ENGINEERING CONSULTANTS, INC.**  
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171  
Phone: (803) 791-1400 • Fax: (803) 791-8110  
Internet: www.aec-sc.com • Email: aec@aec-sc.com



DATE	SCALE	PROJECT

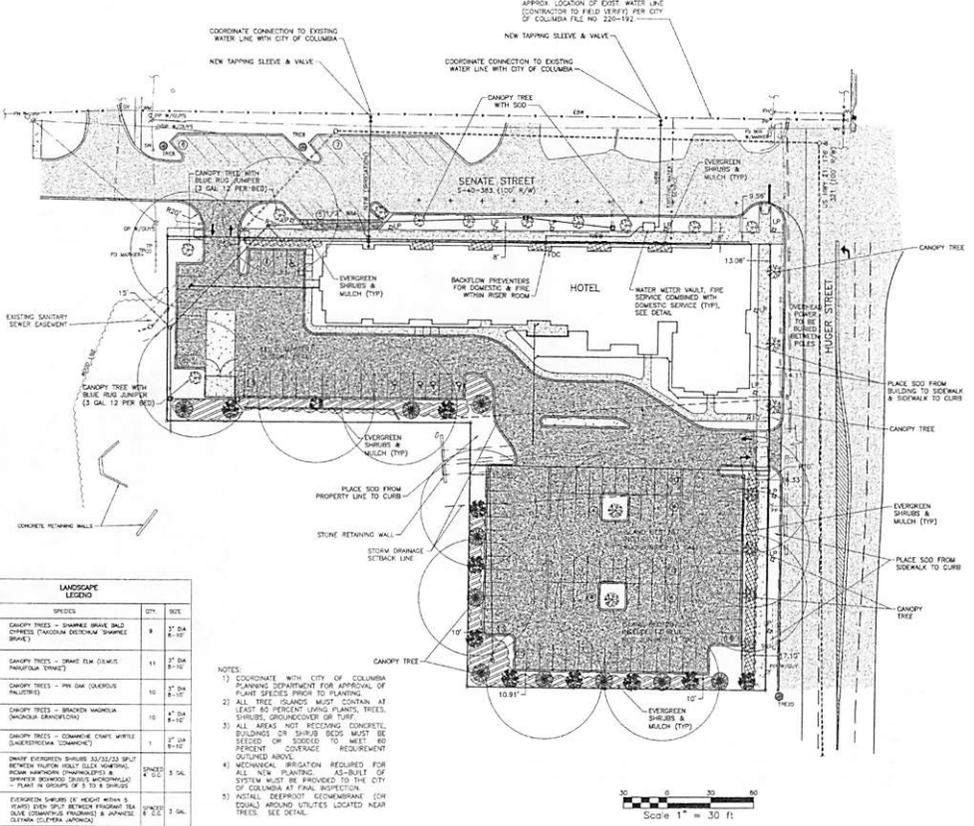
**Vista Hotel**  
PREPARED FOR  
**Solara Investments**  
Richland County, South Carolina  
Utility Plan

7  
15  
PAGE NO.



LANDSCAPE LEGEND			
SYMBOL	SPECIES	QTY	SIZE
	CANOPY TREES - SHAWNEE GRAPE (SOLD DIVINER) (NORFOLK DUTCHMAN SHAWNEE GRAPE)	8	7" DIA 8'-10"
	CANOPY TREES - SPANISH OAK (SOLD MANITOUFA TREES)	11	7" DIA 8'-10"
	CANOPY TREES - PINE OAK (SOLD PINE OAK)	10	7" DIA 8'-10"
	CANOPY TREES - BRANCHED NORTON (SOLD BRANCHED NORTON)	10	4" DIA 8'-10"
	CANOPY TREES - DOWNY CHINA WHITE (SOLD DOWNY CHINA WHITE)	1	2" DIA 8'-10"
	SHRUBS - BURNING BUSH (SOLD BURNING BUSH) (SOLD BURNING BUSH) (SOLD BURNING BUSH)	1	2" DIA 8'-10"
	EVERGREEN SHRUBS - (SOLD EVERGREEN SHRUBS) (SOLD EVERGREEN SHRUBS) (SOLD EVERGREEN SHRUBS)	8	2" DIA 8'-10"

NOTES:  
 1) COORDINATE WITH CITY OF COLUMBIA PLANNING DEPARTMENT FOR APPROVAL OF PLANT SPECIES PRIOR TO PLANTING.  
 2) ALL TREE ISLANDS MUST CONTAIN AT LEAST 60 PERCENT (60%) PLANTING TREES, SHRUBS, OR GROUNDCOVER OR TURF.  
 3) ALL AREAS NOT BEING CONCRETE, BUILDINGS OR SHRUB BEDS MUST BE SEEDED OR SOED TO MEET 60 PERCENT COVERAGE REQUIREMENT OUTLINED ABOVE.  
 4) MECHANICAL IRRIGATION REQUIRED FOR ALL NEW PLANTING. AS-BUILT OF SYSTEM MUST BE PROVIDED TO THE CITY OF COLUMBIA AT FINAL INSPECTION.  
 5) INSTALL DEEPROOT EEDMEMBRANE (ON EQUAL) AROUND UTILITIES LOCATED NEAR TREES. SEE DETAIL.



Scale 1" = 30 ft

NO.	DATE	REVISION	BY
1.	03/02/22	REVISED LANDSCAPE PLAN AND PARKING LAYOUT	JSP
2.	03/22/22	GENERAL REVISIONS - PER CITY OF COLUMBIA	TVC

**AMERICAN ENGINEERING CONSULTANTS, INC.**  
 1300 12th Street, Suite A - P.O. Box 2399 - Cayce, SC 29114  
 Phone: (803) 791-1400 - Fax: (803) 791-8110  
 Internet: www.aec-ac.com - Email: info@aec-ac.com

Professional Engineer Seal for South Carolina, License No. 11715, State of South Carolina.

**Vista Hotel**  
 PREPARED FOR  
**Solara Investments**  
 Richland County, South Carolina  
 Landscaping Plan

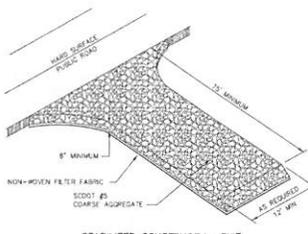
Professional Engineer Seal for South Carolina, License No. 15, State of South Carolina.



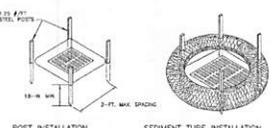


**SEDIMENT & EROSION CONTROL NOTES**

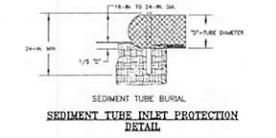
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE TEMPORARILY OR PERMANENTLY CEASED. IN NO CASE SHALL THESE MEASURES BE INSTALLED AFTER THE WORK HAS CEASED AS STATED BELOW.
2. CONSTRUCTION MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE TEMPORARILY OR PERMANENTLY CEASED. IN NO CASE SHALL THESE MEASURES BE INSTALLED AFTER THE WORK HAS CEASED AS STATED BELOW.
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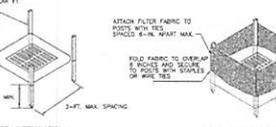
**STABILIZED CONSTRUCTION EXIT**  
NOT TO SCALE



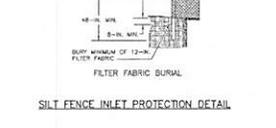
**POST INSTALLATION**      **SEDIMENT TUBE INSTALLATION**



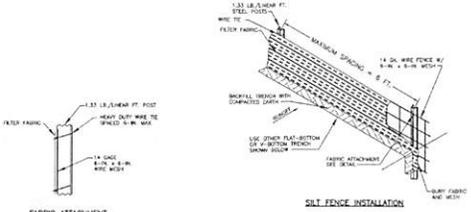
**SEDIMENT TUBE INLET PROTECTION DETAIL**



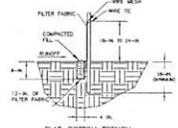
**POST INSTALLATION**      **FILTER FABRIC INSTALLATION**



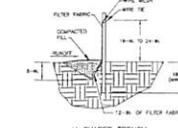
**FILTER FABRIC INLET PROTECTION DETAIL**



**SILT FENCE INSTALLATION**



**FLAT-BOTTOM TRENCH**



**V-SHAPED TRENCH**

- NOTES**
1. SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH POUR AND AT LEAST DAILY DURING PROLONGED RAINFALL AND SHOULD BE REPAIRED IMMEDIATELY AS NECESSARY TO MAINTAIN PROPER FUNCTIONING PRIOR TO THE EXPECTED USEFUL LIFE, AND THE FABRIC IS FULLY RECEIVED. THE FABRIC SHOULD BE REPAIRED IMMEDIATELY AS NECESSARY TO MAINTAIN PROPER FUNCTIONING PRIOR TO THE EXPECTED USEFUL LIFE, AND THE FABRIC IS FULLY RECEIVED.
  2. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH THE MAXIMUM DEPTH OF THE SILT FENCE.

**SILT FENCE DETAIL**  
NOT TO SCALE



FOR MORE INFORMATION  
CALL 803-791-1400  
OR VISIT OUR WEBSITE  
WWW.AEC-NC.COM

NO.	DATE	REVISION	BY
1	03/22/22	GENERAL REVISIONS - PER CITY OF COLUMBIA	TVE

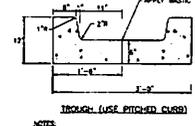
**AMERICAN ENGINEERING CONSULTANTS, INC.**  
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**Vista Hotel**  
PREPARED FOR  
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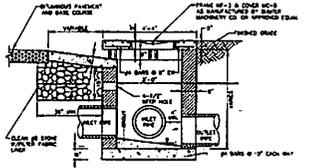
DATE: 03/22/22  
SCALE: AS SHOWN  
DRAWN: TVE  
CHECKED: JED  
JOB NO.: 22-0018  
SHEET NO.: 15  
OF 15

SCENT Seeding Schedule									
Seeding Schedule for Permanent Vegetation - Upper State									
Seeding Type	Common Name of Seed	Rate (lb/1000 sq ft)	Planting Date						
1	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
2	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15
	BERNAGA (MULLED)	10	10	10	10	10	10	10	May 15



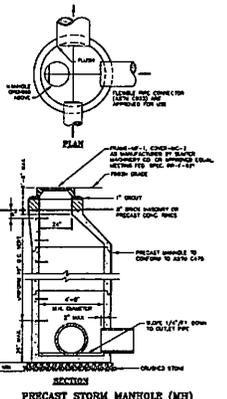
**TROUGH (USE PITCHED CURB)**  
NOT TO SCALE

NOTES:  
1. 1000 PSI CONCRETE  
2. 2000 PSI CONCRETE 8" THICK  
3. CONCRETE JOINTS 8" ON CENTER  
4. ADD A 2" STRIP OF 1" WID CONCRETE TO THE SIDEWALK END OF THE TROUGH SECTION ONLY

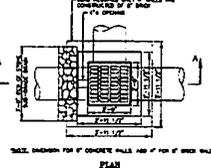


**CURB & GUTTER TROUGH**  
NOT TO SCALE

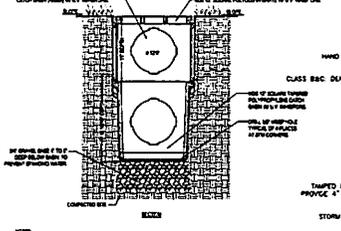
NOTES:  
1. ALL CONCRETE SHALL BE 1000 PSI  
2. 1000 PSI CONCRETE SHALL BE PLACED WITH FACE OF CURB AND EDGE BARRING CURB  
3. 1000 PSI CONCRETE SHALL BE PLACED 1" FROM FACE OF CURB AND BARRING CURB  
4. 1000 PSI CONCRETE SHALL BE PLACED 1" FROM FACE OF CURB AND BARRING CURB  
5. 1000 PSI CONCRETE SHALL BE PLACED 1" FROM FACE OF CURB AND BARRING CURB  
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19. 1000 PSI CONCRETE SHALL BE PLACED 1" FROM FACE OF CURB AND BARRING CURB  
20. 1000 PSI CONCRETE SHALL BE PLACED 1" FROM FACE OF CURB AND BARRING CURB



**PRECAST STORM MANHOLE (MH)**  
NOT TO SCALE

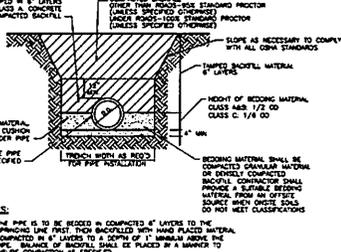


**CURB INLET CATCH BASIN**  
SCALE AS SHOWN



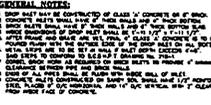
**STANDARD STORM DRAINAGE BEDDING AND BACKELLING DETAIL**  
NOT TO SCALE

NOTES:  
1. THE PIPE IS TO BE BEDDED IN COMPACTED 4" LAYERS TO THE SPRING LINE FROM THE BACKSLOPE WITH HAND PLACED MATERIAL. COMPACTED IN 4" LAYERS TO A DEPTH OF 1" MINIMUM ABOVE THE PIPE. REMAINS OF BACKFILL SHALL BE PLACED BY A MANHOLE TO INSURE COMPACTED AS SPECIFIED.  
2. IN AREAS WHERE DITCH LINE WILL BE LESS THAN THREE (3) FEET FROM THE EDGE OF EXISTING PAVEMENT, FINISHABLE FILL MAY BE REQUIRED FOR BACKFILL MATERIAL. CONSULT DESIGNER FOR SPECIFIC REQUIREMENTS IN THE RECORD.



**24\"/>**

RICHLAND COUNTY MINIMUM GRASSING SPECIFICATIONS	
1. SUMMER FERTILIZATION: 1000 LBS OF 10-10-10 PER ACRE	
PERMANENT COVER:	
BAMA GRASS	40 LBS PER ACRE ALONE
BERNAGA (MULLED)	20 LBS PER ACRE W/INTERTURE
BERNAGA SPINOSI	4 LBS PER ACRE ALONE
BERNAGA SPINOSI	100 LBS PER ACRE BROADCAST
BERNAGA SPINOSI	40 LBS PER ACRE ALONE
BERNAGA SPINOSI (COMBINED)	40 LBS PER ACRE IN MIXTURES
LOVEGRASS, WEDDING	2 LBS PER ACRE PLANT IN MIXTURES ONLY
TEMPORARY SUMMER COVER:	
LEPESDEZA ANNUAL	2 LBS PER ACRE IN MIXTURES (DO NOT PLANT ON SANDY SOILS)
BROWN TOP WHEAT	40 LBS PER ACRE ALONE
	20 LBS PER ACRE IN MIXTURES
2. WINTER:	
A. WINTER PERMANENT:	
1) THE WINTER TESSIELO 40 LBS PER ACRE FROM SEPT 1 TO APRIL 15 ONLY ON FERTILE SANDY CLAY OR CLAY SOILS	
2) PLANTING FROM SEPT 15 TO FEB 15 ON SANDS MUST BE OF TEMPORARY WINTER COVER AND THEN SEEDS TO A PERMANENT SUMMER COVER	
B. WINTER TEMPORARY: SEPT 1 TO MAY 1	
ONE GRASS	40 LBS PER ACRE ALONE
	20 LBS PER ACRE IN MIXTURES
ONE	2 LBS PER ACRE ALONE
ONE	1-1/2 LBS PER ACRE ALONE
ONE	1 LB PER ACRE IN MIXTURES
OTHER PLANTING OR SEEDING AS CONTAINED IN THE CRITICAL AREA STABILIZATION SECTION OF SOE HANDBOOK, DESIGN AND EROSION CONTROL IN DEVELOPING AREAS, MAY BE USED PROVIDED ALL APPLICABLE SPECIFICATIONS CONTAINED IN SAID HANDBOOK ARE COMPLIED WITH.	



**24\"/>**



**NDS LANDSCAPE DRAINAGE BOX**  
SCALE: 1/2" = 1'-0"

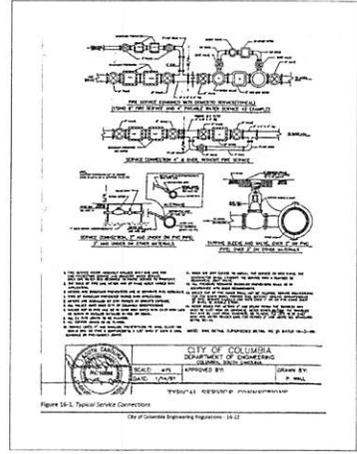
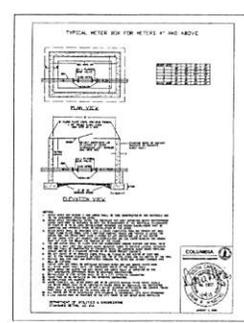
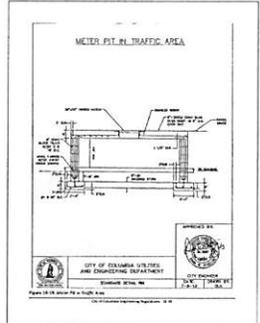
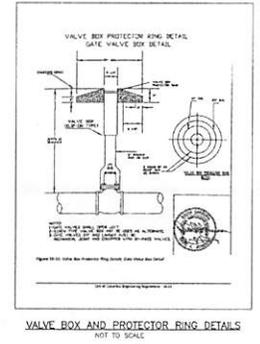
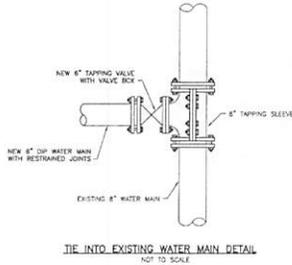
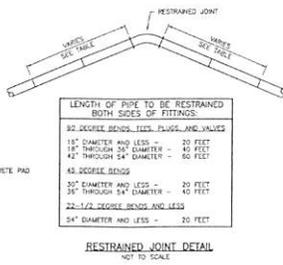
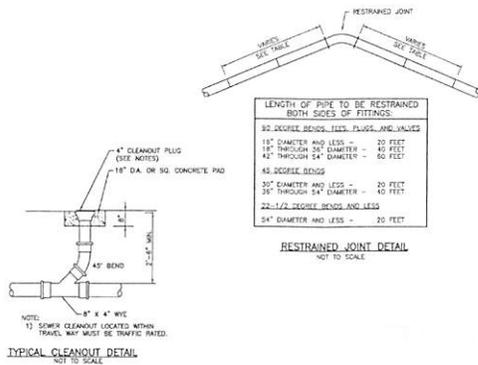
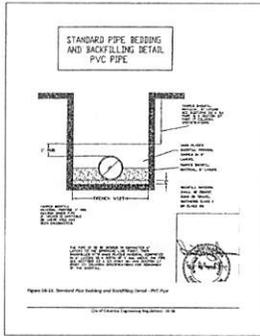
DATE	REVISION
03/27/22	GENERAL REVISIONS - PER CITY OF COLUMBIA

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Internet: www.aec.com • Email: aec@aec.com

**SEAL OF THE STATE OF SOUTH CAROLINA**  
JAMES H. HANCOCK  
GOVERNOR

**Vista Hotel**  
PREPARED FOR  
**Solaris Investments**  
Richland County, South Carolina  
Date: \_\_\_\_\_

**D2**  
15



NOTE:  
 1) BACKFLOW PREVENTERS FOR FIRE & DOMESTIC LINES TO BE INSTALLED IN RISER ROOM OF BUILDING.  
**FIRE SERVICE COMBINED WITH DOMESTIC SERVICE (TYP)**  
 (USING 6\"/>

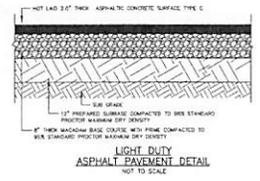
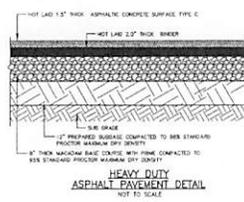
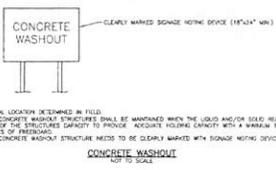
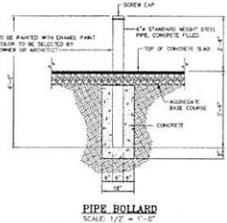
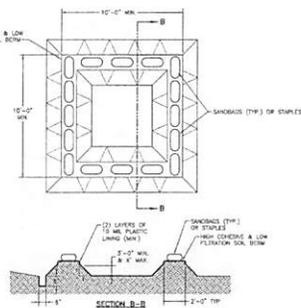
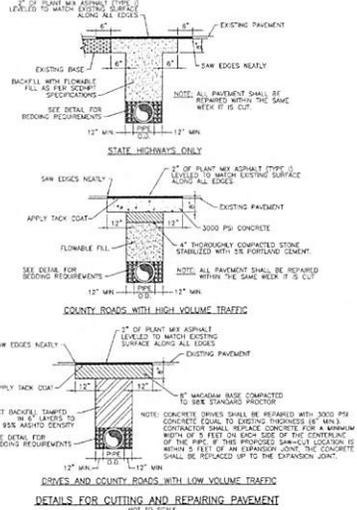
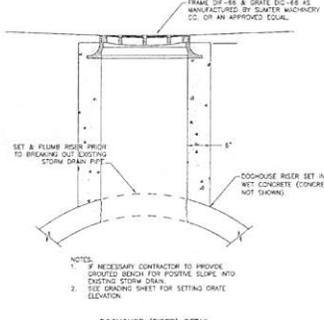
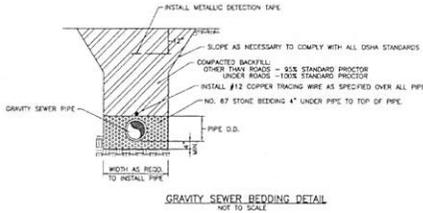
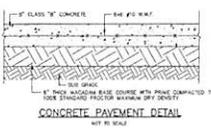
NO.	DATE	REVISION	BY
1	03/22/22	GENERAL REVISIONS - PER CITY OF COLUMBIA	TUC

**AE** AMERICAN ENGINEERING CONSULTANTS, INC.  
 1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171  
 Phone: (803) 791-1400 • Fax: (803) 791-8110  
 Internet: www.aecac.com • Email: info@aecac.com



Vista Hotel  
 PREPARED FOR  
**Solara Investments**  
 Richland County, South Carolina  
 Details

**D3**  
 15  
 PLAN NO.



**NOTES:**

1. ACTUAL LOCATION DETERMINED IN FIELD.
2. THE CONCRETE STRUCTURES SHALL BE MAINTAINED WITH THE LIQUID AND/OR SOLID RESIDUES FOR THE STRUCTURES CAPACITY TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM 12 HOURS OF PRESSURE.
3. THE CONCRETE WASHOUT STRUCTURE NEEDS TO BE CLEARLY MARKED WITH SIGNAGE NOTING DEVICE.

**CONCRETE WASHOUT**  
NOT TO SCALE

NO.	DATE	REVISION	BY
11	03/21/23	GENERAL REVISIONS - PER CITY OF COLUMBIA	DNF

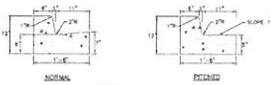
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1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171  
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Internet: www.aecinc.com • Email: info@aecinc.com

Professional Engineer Seal for South Carolina, State of Columbia, License No. 10000, H. H. H.

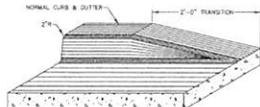
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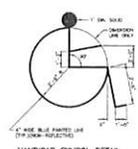
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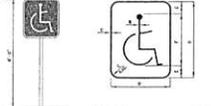
TYPICAL CURB AND GUTTER SECTIONS  
NOT TO SCALE



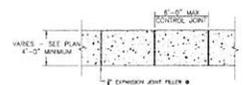
FEATHERING OF CURB AND GUTTER DETAIL  
NOT TO SCALE



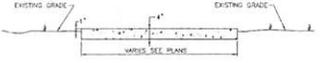
HANDICAP SYMBOL DETAIL  
NOT TO SCALE



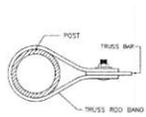
HANDICAP SIGN DETAIL  
NOT TO SCALE



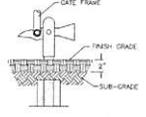
SIDWALK EXPANSION DETAIL  
NOT TO SCALE



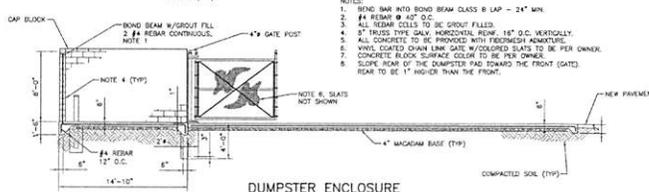
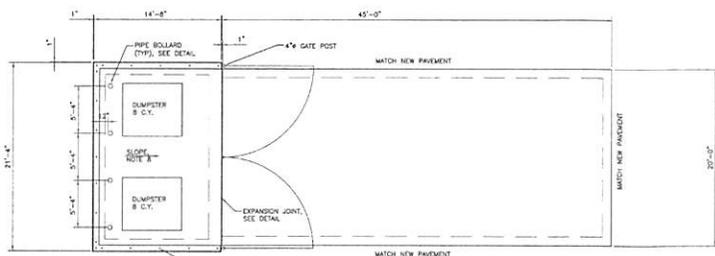
TYPICAL SIDEWALK SECTION  
NOT TO SCALE



TYPICAL TRUSS ROD BAND  
NOT TO SCALE



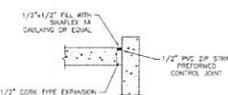
TYPICAL GATE KEEPER  
NOT TO SCALE



DUMPSTER ENCLOSURE  
NOT TO SCALE  
(END REQUIRED)

BAR SIZE	3,000 PSI CONCRETE *			4,000 PSI CONCRETE *		
	TOP BARS	OTHER BARS	BAR SIZE	TOP BARS	OTHER BARS	BAR SIZE
#3	18	21	17	18	14	18
#4	22	25	17	22	18	24
#5	27	31	21	27	23	30
#6	32	37	25	32	28	36
#7	38	43	29	38	33	42
#8	45	51	35	45	39	51
#9	53	60	41	53	46	57
#10	62	70	48	62	54	66
#11	72	81	56	72	63	78
#12	84	96	66	84	75	93

\* NORMAL WEIGHT CONCRETE



EXPANSION JOINT DETAIL  
NOT TO SCALE

10/17/2022 8:00 AM V:\PROJECTS\14-00-0000\CONCRETE\DWG\DWG14-00-0000-01.dwg

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