

ORIGINAL  
STAMPED IN RED

**ORDINANCE NO.: 2022-076**

*Granting an encroachment to Central Midlands Regional Transit Authority (CMRTA), for the use of the right of way area of the 3700 and 3800 blocks of Lucius Road and the 3800 block of River Drive for the installation and maintenance of sidewalks and a bus stop adjacent to 3800 and 3808 Lucius Road, Richland County TMS#09103-07-01*

WHEREAS, Central Midlands Regional Transit Authority (CMRTA), (hereinafter "Grantee") desires to utilize a portion of the right of way area of the 3700 and 3800 blocks of Lucius Road and the 3800 block of River Drive for the installation and maintenance of sidewalks and a bus stop adjacent to 3800 and 3808 Lucius Road, as shown on the attached drawings; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 6<sup>th</sup> day of September, 2022, that Grantee is hereby granted the right to use the right of way areas of the 3700 and 3800 blocks of Lucius Road and the 3800 block of River Drive adjacent to 3800 and 3808 Lucius Road, Richland County TMS#09103-07-01, for the installation and maintenance of a six (6') wide sidewalk measuring approximately seven hundred and thirty (730') feet in length and a bus stop, as shown on the attached drawings.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by Grantee's construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED further that in the event the City has to make repairs or maintain utility lines located within the encroachment area the City will replace any items removed for the utility repair or maintenance with like items to those removed; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.

2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.
3. Grantee is responsible for maintaining landscaping and improvements.
4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.
5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.
6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.
7. All trees shall be protected and no large tree roots shall be removed from any existing trees.
8. If sidewalk construction takes place within ten (10') feet of existing trees, trees should be removed as part of the project.
9. The sidewalk width shall be increased to six (6') feet in width as per City Engineering regulations which require a minimum sidewalk width of six (6') feet adjacent to a commercially zoned property.

BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

Assistant City Manager Gentry

  
Mayor

Approved by:

  
Cheryl B. Wilson  
City Manager

Approved as to form:

  
City Attorney

ATTEST:

  
City Clerk

Introduced: 8/16/2022

Final Reading: 9/6/2022

**CITY COUNCIL  
ENCROACHMENT SUMMARY  
2022-076**



**3700 AND 3800 BLOCKS OF LUCIUS ROAD AND 3800 BLOCK OF RIVER DRIVE  
ADJACENT TO 3800 AND 3808 LUCIUS ROAD  
SIDEWALKS AND A BUS STOP**

|                              |  |
|------------------------------|--|
| <b>Subject Property:</b>     | Right-of-way adjacent to 3800 and 3808 Lucius Road   |
| <b>Council District:</b>     | 1  |
| <b>Proposal:</b>             | The applicant is requesting an encroachment for installation and maintenance of sidewalks and a bus stop |
| <b>Applicant:</b>            | Central Midlands Regional Transit Authority (CMRTA)  |
| <b>Staff Recommendation:</b> | Approval.  |

|                |  |
|----------------|--|
| <b>Detail:</b> | <p>The applicant is requesting an encroachment for the installation and maintenance of a six (6') wide sidewalk measuring approximately seven hundred and thirty (730') feet in length and a bus stop, as shown on the attached drawings; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none"><li>1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.</li><li>2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.</li><li>3. Grantee is responsible for maintaining landscaping and improvements.</li><li>4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.</li><li>5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.</li><li>6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.</li><li>7. All trees shall be protected and no large tree roots shall be removed from any existing trees.</li><li>8. If sidewalk construction takes place within ten (10') feet of existing trees, trees should be removed as part of the project.</li><li>9. The sidewalk width shall be increased to six (6') feet in width as per City Engineering regulations which require a minimum sidewalk width of six (6') feet adjacent to a commercially zoned property.</li></ol> |
|----------------|--|

[illegible]

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.



# Permanent Encroachment

## Application and Checklist

### Checklist for All Applications

A complete site plan application shall include the following information. Refer to the Procedures Manual for additional information about these requirements. Please initial to signify that the requested information has been provided.

|  | Applicant<br>Initials   | Staff<br>Initials    |
|--|---|----------------------|
| <b>A copy of this Application Checklist</b> , completed by the applicant.                                  | <input type="text" value="JA"/>   | <input type="text"/> |
| <b>A completed and signed Application Form</b>   | <input type="text" value="JA"/>   | <input type="text"/> |
| <b>Letters of Agency</b> for all applications where the applicant is not the owner of the subject property | <input type="text" value="JA"/>   | <input type="text"/> |
| <b>Pictures or specification sheet</b> of the items to permanently encroach the Right-of-way               | <input type="text" value="JA"/>   | <input type="text"/> |
| <b>Existing Site Plan</b><br>Please see page 4 below for required content.                                 | 1 copy: min. 18 x 24 inches<br>or 1 digital copy (pdf<br>format) – may be 8 ½ inches<br>x 11 inches if legible<br><input type="text" value="JA"/> | <input type="text"/> |
| <b>Proposed Site Plan</b><br>Please see page 4 below for required content.                                 | 1 copy: min. 18 x 24 inches<br>or 1 digital copy (pdf<br>format) – may be 8 ½ inches<br>x 11 inches if legible<br><input type="text" value="JA"/> | <input type="text"/> |



# Permanent Encroachment

## Application and Checklist

### 1. Applicant Information

|   |                                 |
|---|---------------------------------|
| Name<br>Jonathan Atkins   |                                 |
| Company (if applicable)<br>Davis & Floyd, Inc.  |                                 |
| Address (street, city, state, zip)<br>1319 Highway 72/221 East<br>Greenwood, South Carolina 29649 |                                 |
| Phone<br>(864)229-5211  | Email<br>jatkins@davisfloyd.com |

### 2. Property Information

|   |   |
|---|---|
| Address<br>Corner of Lucius Road & River Road (Hwy 176) |   |
| Tax Map Reference Number(s)<br>R09103-07-01             |   |
| Current use<br>NONE                                     | Proposed use<br>Bus Transit Station and Training Facility |

### 3. Property Ownership

Does the applicant own the adjacent property? ☒ Yes ☐ No

If the applicant does not own the adjacent property, complete the **Letter of Agency** for each property owner that authorizes the applicant to submit this application on the property owner's behalf.



# Permanent Encroachment

## Application and Checklist

### 4. Project Description

Provide a brief description of the project and list all items that will be placed in the right-of-way (walls, fences, columns, steps, irrigation systems, landscaping, driveways, pavers, sidewalks/walkways, planters, awnings, etc.)

The COMET is constructing a new bus transit station and training facility. After approval of the land disturbance permit and with discussions with the SCDOT, it was requested that there be additional sidewalk constructed adjacent to the project site. This 0.1 ac of new sidewalk will be placed along the north side of Lucius Rd. from the permitted project site eastward to Marlboro street.

*For staff use only*

Date received (M/D/Y): \_\_\_\_/\_\_\_\_/\_\_\_\_

By: \_\_\_\_\_



# Permanent Encroachment

## Application and Checklist

### 5. Additional Submission Requirements

#### Existing Site Plan

This shall be a site plan of the existing conditions or a plat of survey, to scale and fully dimensioned.

#### Proposed Site Plan

The proposed site plan shall be prepared to scale and fully dimensioned, and include the following:

|  | Applicant                           | Staff                    |
|--|-------------------------------------|--------------------------|
| Total acreage  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location of lots and outlets (numbered and area in square feet)                                | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location of buildings (including setbacks from property lines and distances between buildings) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location of parking and access/driveways   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location of rights-of-way and/or easements for streets, railroads, and utility                 | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Lines upon and abutting subject property   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location of streets, alleys, railroads, and utility lines upon and abutting subject property   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Section of sidewalk or right-of-way to be used for the encroachment                            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Proposed placement of permanent items and furnishings on the sidewalk                          | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Proposed placement of permanent items and furnishings in the right-of-way                      | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Location and height of all fences, walls, and exterior lighting in the right-of-way            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| North arrow  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Scale  | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| Vicinity map (at 1 inch equals 1,000 feet)   | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

### 6. Acknowledgement

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment.

Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required.

In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or [catimmons@columbiasc.net](mailto:catimmons@columbiasc.net).

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation.



# Permanent Encroachment

## Application and Checklist


Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager.

Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Permittee understands and agrees that the privilege granted may be modified or terminated by the City of Columbia at any time without notice and that the privilege granted hereby is subject to applicant's compliance with the following conditions, restrictions or limitations:

Permittee must comply with all existing City of Columbia and any other state or federal codes, rules and regulations, as applicable including the Americans with Disabilities Act, now in existence or hereafter enacted.

### 7. Signature

|   |                    |
|---|--------------------|
| Signature of Applicant  |                    |
|  |                    |
| Print Name<br>Jonathan Atkins   | Date<br>07/19/2022 |

CENTRAL MIDLANDS REGIONAL TRANSIT AUTHORITY  
COLUMBIA, SOUTH CAROLINA

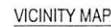


PROJECT NAME: LUGGS ROAD SUPERSTRETCH  
PROJECT ADDRESS: LUGGS ROAD & IRVING DRIVE COLUMBIA, SC  
PROJECT DESCRIPTION:  
CONSTRUCTION OF A RUS 20' W/TH A 20' SIDEWALK INFRASTRUCTURE SUCH AS  
CROSSWALKS, PARKING, BIKE LANE, STOPPING & TURNING CHANNELS.  
TOWNSHIP/LOCAL INFORMATION:  
TOWNSHIP 10-04-07  
SCHOOL DISTRICT:  
SCHOOL NAME: 177th AC  
LIMITS OF CONSTRUCTION: 4.88 AC  
SCHOOL ZONE:  
MAY: 18th GRADE/19th DISTRICT  
ADJACENT ZONING:  
NORTH: HIGHWAY 10  
SOUTH: BULLWORTH STREET  
EAST: UNZONED  
WEST: LUGGS ROAD  
EXISTING DRAINAGE:  
TOTAL PROBLEMS TO  
NOTIFY: 3/11/11  
ACAP ACRES: 7

[illegible]

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS BEING SUBMITTED HEREWITH. I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM FURTHER, I COMMIT TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 140B OF THE CODES OF LAWS OF SC. 1978 AS AMENDED PURSUANT TO VS. 2002-27 § 602. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SC-19000052.

DATE: 12/06/2007 SIGNATURE: Jonell Sells



EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEEDLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

1. ALL PUBLIC RIGHT-OF-WAYS AND ALL WARRANTIES WILL BE AOA COMPLIANT.
2. PUBLIC RIGHT-OF-WAYS MUST REMAIN AOA COMPLIANT THROUGHOUT CONSTRUCTION OF AN ALTERNATIVE ROUTE MUST BE PROVIDED.

| SHEET INDEX |       |                                  |
|-------------|-------|----------------------------------|
| Page        | Sheet | Sheet Title                      |
| 1           | C00   | COVER                            |
| 2           | C001  | GENERAL NOTES                    |
| 3           | C100  | EXISTING CONDITIONS & DEMOLITION |
| 4           | C200  | SWEEP PLAN                       |
| 5           | C210  | GRAVELL PLAN - RIVER DRIVE       |
| 6           | C211  | GRAVELL PLAN - LUGGUS ROAD       |
| 7           | C300  | GRADING & STORM DRAIN PLAN       |
| 8           | C310  | STORM DRAIN PROFILES             |
| 9           | C400  | SWAMP NOTES                      |
| 10          | C510  | SWAMP PLAN - INITIAL             |
| 11          | C520  | SWAMP PLAN - CONSTRUCTION        |
| 12          | C530  | SWAMP PLAN - STABILIZATION       |
| 13          | C610  | SITE DETAILS                     |
| 14          | C621  | SITE DETAILS                     |
| 15          | C622  | SITE DETAILS                     |
| 16          | C630  | GRADING & STORM DRAIN DETAILS    |
| 17          | C640  | SWAMP DETAILS                    |
| 18          | C800  | SCOOT DETAILS                    |

**DAVIS & FLOYD**  
SINCE 1884

CENTRAL MIDLANDS REGIONAL  
TRANSIT AUTHORITY

COVER

COVER

[illegible]

200



Know what's below.  
Call before you dig.





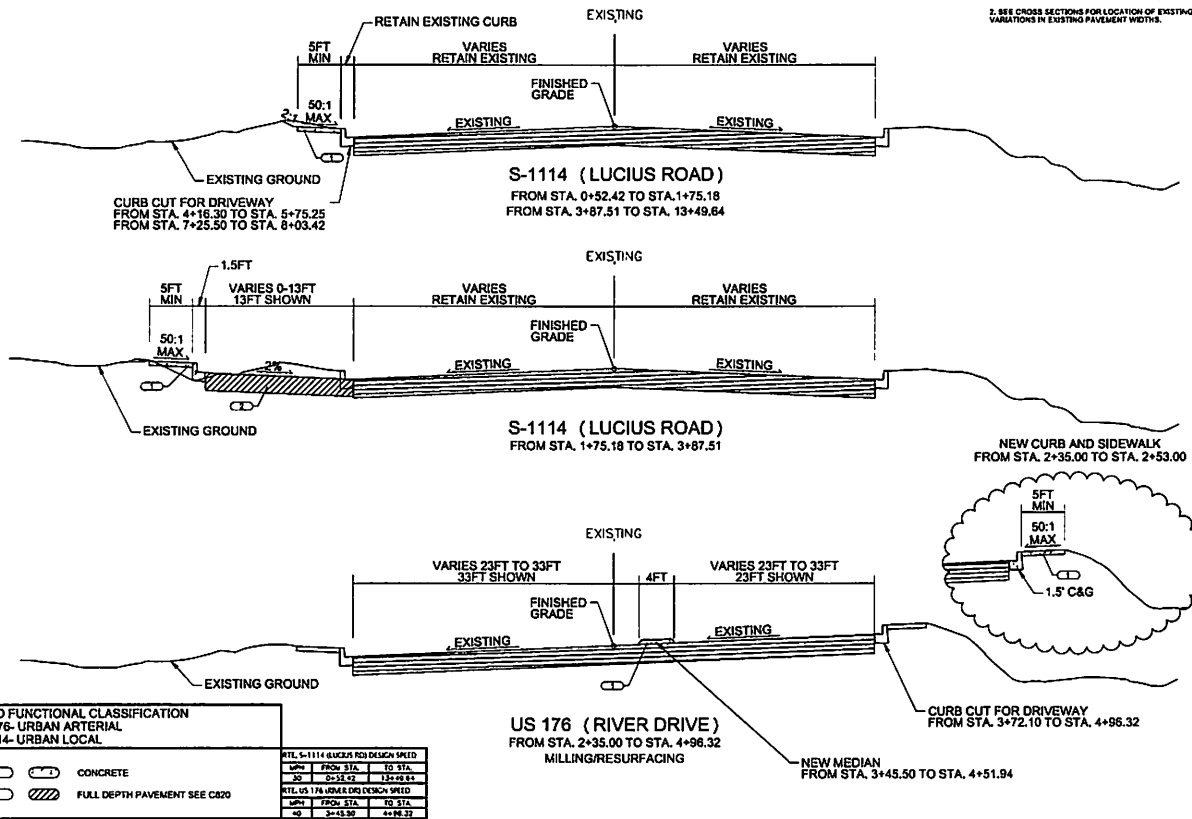






# TYPICAL SECTION OF IMPROVEMENT

NOTES:  
1. PAVEMENT SLOPES AND SHOULDER SLOPES MAY VARY FROM THOSE SHOWN IN TYPICAL SECTIONS (SEE CROSS SECTIONS).  
2. SEE CROSS SECTIONS FOR LOCATION OF EXISTING PAVEMENT AND VARIATIONS IN EXISTING PAVEMENT WIDTHS.



ROAD FUNCTIONAL CLASSIFICATION  
US 176- URBAN ARTERIAL  
S-1114- URBAN LOCAL

CONCRETE  
FULL DEPTH PAVEMENT SEE C020

| DATE  | PROJECT | DESIGN | DATE  |
|-------|---------|--------|-------|
| 10/10 | 10/10   | 10/10  | 10/10 |
| 10/10 | 10/10   | 10/10  | 10/10 |
| 10/10 | 10/10   | 10/10  | 10/10 |



What's below.  
Call before you dig.

PROJECT DATA INFORMATION  
CROSS-SECTION RANGES  
VERTICAL 2+100 RANGES



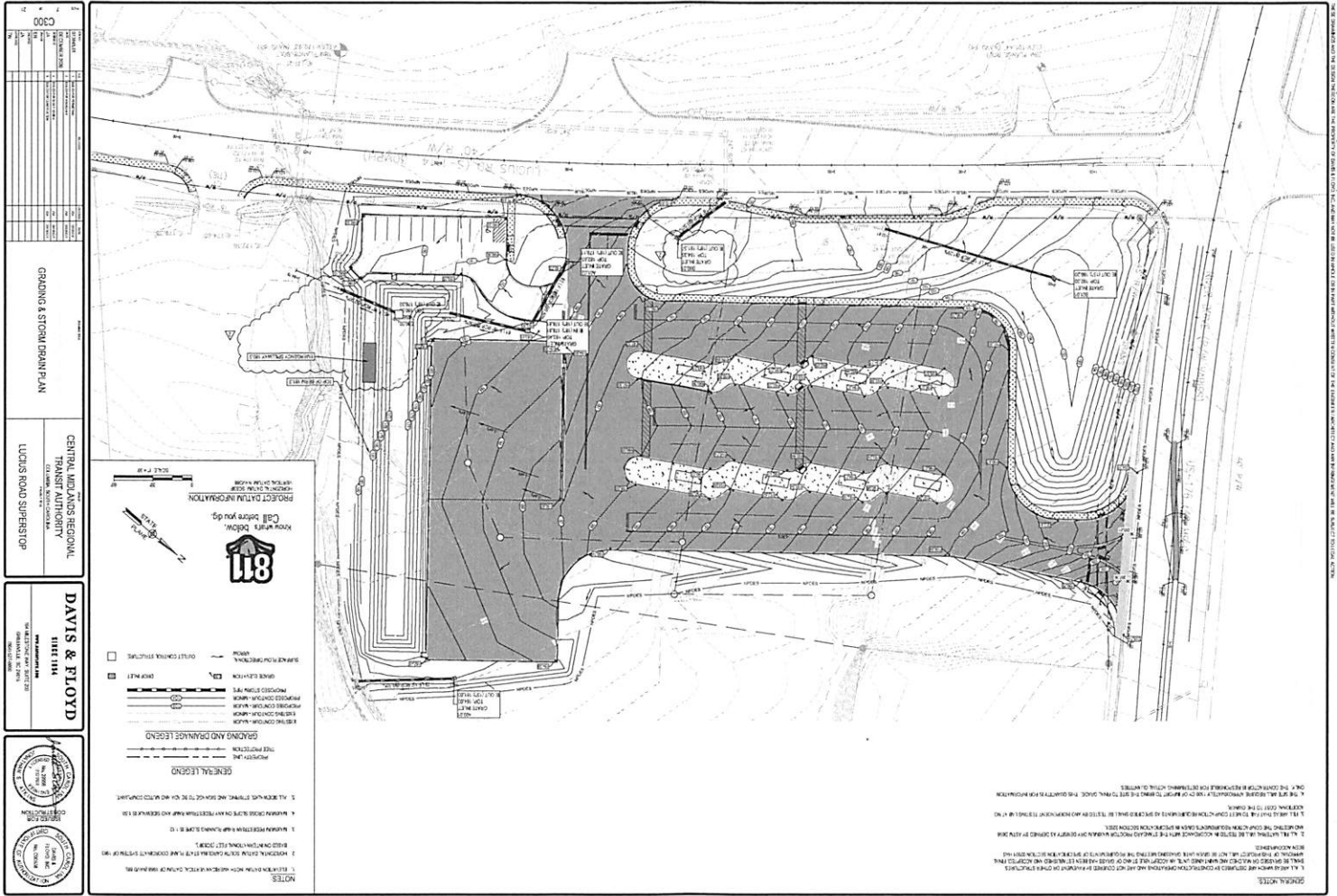
**DAVIS & FLOYD**  
ENGINEERS  
1111 N. 11th St.  
Tulsa, Oklahoma 74103  
Phone: (918) 438-1111  
Fax: (918) 438-1112

CENTRAL OKLAHOMA REGIONAL  
TRANSIT AUTHORITY  
1111 N. 11th St.  
Tulsa, Oklahoma 74103  
Phone: (918) 438-1111  
Fax: (918) 438-1112

CROSS SECTIONS

| SECTION | DATE  | BY    | CHKD  | APPD  |
|---------|-------|-------|-------|-------|
| 1       | 10/10 | 10/10 | 10/10 | 10/10 |
| 2       | 10/10 | 10/10 | 10/10 | 10/10 |
| 3       | 10/10 | 10/10 | 10/10 | 10/10 |
| 4       | 10/10 | 10/10 | 10/10 | 10/10 |
| 5       | 10/10 | 10/10 | 10/10 | 10/10 |
| 6       | 10/10 | 10/10 | 10/10 | 10/10 |
| 7       | 10/10 | 10/10 | 10/10 | 10/10 |
| 8       | 10/10 | 10/10 | 10/10 | 10/10 |
| 9       | 10/10 | 10/10 | 10/10 | 10/10 |
| 10      | 10/10 | 10/10 | 10/10 | 10/10 |

C200



**PROJECT DATA INFORMATION**  
Know what's below. Call before you dig.  
811

**GRADING & STORM DRAIN PLAN**

**CENTRAL KANSAS REGIONAL TRANSIT AUTHORITY**  
LUCAS ROAD SUPERSTOP

**DAVIS & FLOYD**  
ENGINEERS  
1101 W. 17TH AVE., SUITE 100  
WICHITA, KS 67203  
TEL: 316-261-1100  
FAX: 316-261-1101  
WWW.DAVISANDFLOYD.COM

**GENERAL LEGEND**

**GRADING AND DRAINAGE LEGEND**

**NOTES**

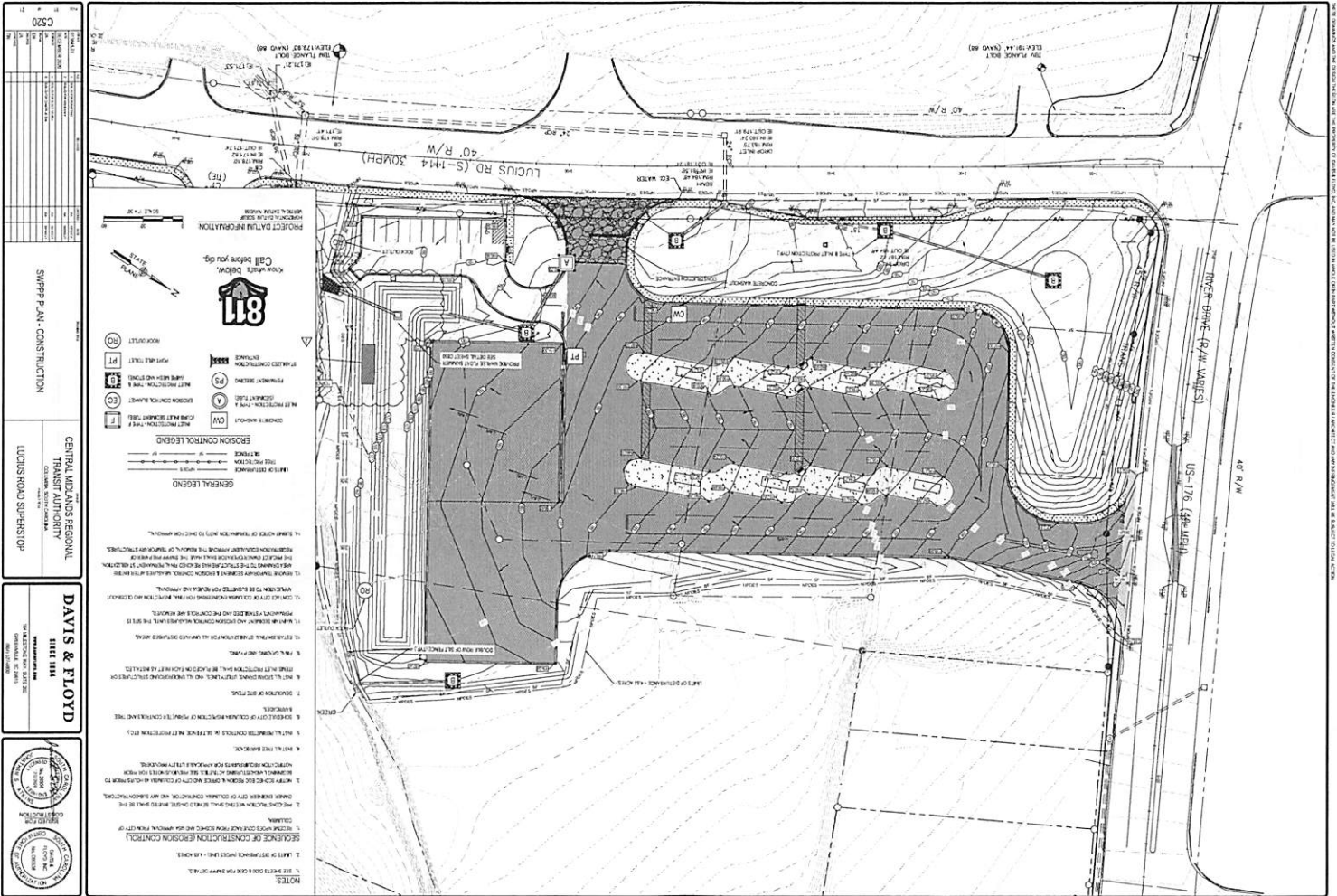
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2. ELEVATIONS ARE BASED ON THE DATUM OF 1985.  
3. ELEVATIONS ARE BASED ON THE DATUM OF 1985.  
4. ELEVATIONS ARE BASED ON THE DATUM OF 1985.  
5. ELEVATIONS ARE BASED ON THE DATUM OF 1985.

THIS PLAN IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN. THE USER OF THIS PLAN ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS PLAN.





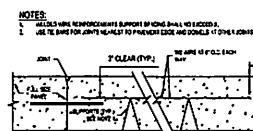
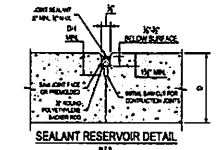
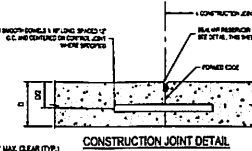
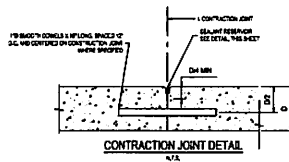
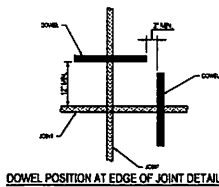
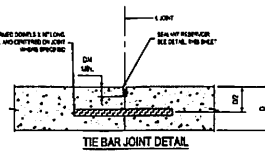
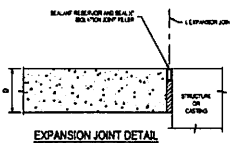
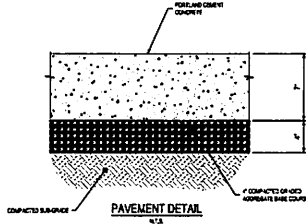




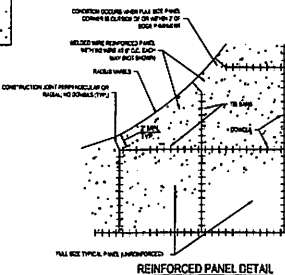
|   |   |
|---|---|
| PROJECT DATA INFORMATION  |   |
| PROJECT NAME  | C520  |
| PROJECT NUMBER  | 111111                                      |
| PROJECT DATE  | 11/11/11                                    |
| PROJECT LOCATION  | CENTRAL MIDLANDS REGIONAL TRANSIT AUTHORITY |
| PROJECT DESCRIPTION   | EROSION CONTROL MEASURES                    |
| PROJECT OWNER   | CENTRAL MIDLANDS REGIONAL TRANSIT AUTHORITY |
| PROJECT MANAGER   | DAVIS & FLOYD                               |
| PROJECT ENGINEER  | DAVIS & FLOYD                               |
| PROJECT SURVEYOR  | DAVIS & FLOYD                               |
| PROJECT DESIGNER  | DAVIS & FLOYD                               |
| PROJECT CONSTRUCTOR   | DAVIS & FLOYD                               |
| PROJECT MAINTENANCE   | DAVIS & FLOYD                               |
| PROJECT INSPECTION  | DAVIS & FLOYD                               |
| PROJECT APPROVAL  | DAVIS & FLOYD                               |
| PROJECT SIGNATURE   | DAVIS & FLOYD                               |
| PROJECT SEAL  | DAVIS & FLOYD                               |
| PROJECT STAMP   | DAVIS & FLOYD                               |
| PROJECT LOGO  | DAVIS & FLOYD                               |
| PROJECT CONTACT   | DAVIS & FLOYD                               |
| PROJECT WEBSITE   | DAVIS & FLOYD                               |
| PROJECT PHONE   | DAVIS & FLOYD                               |
| PROJECT FAX   | DAVIS & FLOYD                               |
| PROJECT EMAIL   | DAVIS & FLOYD                               |
| PROJECT ADDRESS   | DAVIS & FLOYD                               |
| PROJECT CITY  | DAVIS & FLOYD                               |
| PROJECT STATE   | DAVIS & FLOYD                               |
| PROJECT ZIP   | DAVIS & FLOYD                               |
| PROJECT COUNTRY   | DAVIS & FLOYD                               |
| PROJECT REGION  | DAVIS & FLOYD                               |
| PROJECT SUBREGION   | DAVIS & FLOYD                               |
| PROJECT DISTRICT  | DAVIS & FLOYD                               |
| PROJECT WARD  | DAVIS & FLOYD                               |
| PROJECT CENSUS TRACT  | DAVIS & FLOYD                               |
| PROJECT CONGRESS DISTRICT   | DAVIS & FLOYD                               |
| PROJECT LEGISLATIVE DISTRICT  | DAVIS & FLOYD                               |
| PROJECT JUDICIAL DISTRICT   | DAVIS & FLOYD                               |
| PROJECT COUNTY  | DAVIS & FLOYD                               |
| PROJECT COUNTY CLERK  | DAVIS & FLOYD                               |
| PROJECT COUNTY COMMISSIONER   | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF SUPERVISORS   | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS  | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY SUPERVISORS  | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS  | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT  | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT   | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT   | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT AND CENSUS TRACT  | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT AND CENSUS TRACT AND WARD   | DAVIS & FLOYD                               |
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| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT AND CENSUS TRACT AND WARD AND DISTRICT AND COUNTY                       | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT AND CENSUS TRACT AND WARD AND DISTRICT AND COUNTY AND STATE             | DAVIS & FLOYD                               |
| PROJECT COUNTY BOARD OF COUNTY COMMISSIONERS AND SUPERVISORS AND JUDICIAL DISTRICT AND LEGISLATIVE DISTRICT AND CONGRESS DISTRICT AND CENSUS TRACT AND WARD AND DISTRICT AND COUNTY AND STATE AND COUNTRY | DAVIS & FLOYD                               |



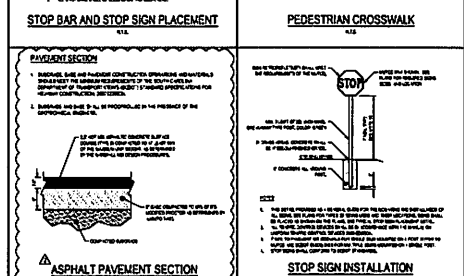
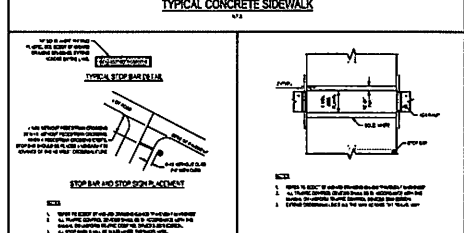
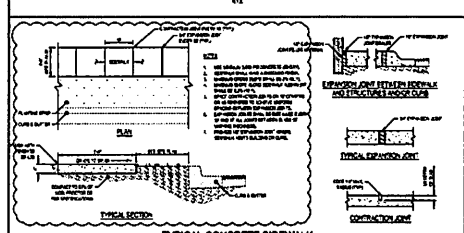
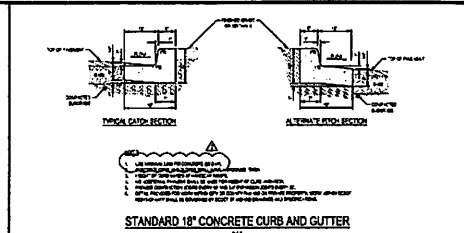
| RECOMMENDED THICKNESS FOR RIGID PAVEMENT |                    |                             |   |
|--|--------------------|-----------------------------|---|
| TRAFFIC RATING                           | COMPACTED SUBGRADE | ACCRISTAR BASE (SICOT GARC) | PORTLAND CEMENT CONCRETE (MIN. 28-day $f'_{c} = 3,000$ psi) |
| ADTT-113 BUSES                           | 14"                | 4"                          | 7"  |



#### RIGID CONCRETE PAVEMENT SECTION DETAILS



- NOTES:**
1. PREPARATION OF SUBGRADE, BASE COURSE AND SURFACE COURSE SHALL BE TESTED BY A LICENSED GEOTECHNICAL ENGINEER TO ENSURE PROPER COMPACTION.
  2. THE GARC SHOULD BE COMPACTED TO AT LEAST 100% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557.
  3. ALL SUBGRADE, BASE AND PAVEMENT CONSTRUCTION OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 1997 EDITION.
  4. THE RIGID CONCRETE PAVEMENT SHALL CONFORM TO THE SCDOT STANDARD SPECIFICATION SECTION 10 FOR PORTLAND CEMENT AND PORTLAND CEMENT CONCRETE AND SECTION 102 FOR CONCRETE STRUCTURES.
  5. ALL ASPECTS OF CONCRETE PLACEMENT, REINFORCEMENT, JOINTS, SEALANTS, ETC. SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) CODES AND (ACI) 308R-90 CONSTRUCTION OF CONCRETE. REINFORCEMENT AND AMERICAN CONCRETE PAVEMENT ASSOCIATION (ACPA) DESIGN OF CONCRETE PAVEMENT FOR CITY STREETS.
  6. JOINTS SHALL BE WITHIN 1/4 IN. OF LEVEL. SMOOTH JOINTS SHALL BE GREASED FOR ALL PORTIONS NOT SET IN EPOXY.
  7. JOINTS SHALL BE WITHIN 1/2 IN. MAX OR APPROVED EQUAL.
  8. PAVEMENT JOINTS SHALL BE SPACED AT 15' ON CENTER IN BOTH DIRECTIONS UNLESS NOTED OTHERWISE.



**DAVIS & FLOYD**  
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**CENTRAL IOWA REGIONAL**  
TRANSPORTATION  
DIVISION

**LUCKY ROAD SUPERSTOP**

**SITE DETAILS**

| NO. | DATE     | BY       | CHKD.    | APP'D.   |
|-----|----------|----------|----------|----------|
| 1   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 2   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 3   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 4   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 5   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 6   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 7   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 8   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 9   | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |
| 10  | 11/11/11 | J. DAVIS | J. DAVIS | J. DAVIS |

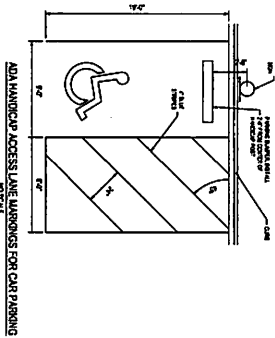
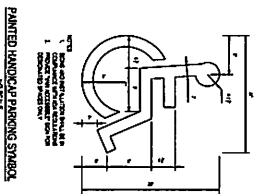
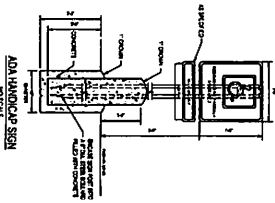
## SITE DETAILS

**CENTRAL MIDLANDS REGIONAL  
TRANSIT AUTHORITY**  
CENTRAL MIDLANDS REGIONAL COUNCIL  
MIDLANDS

**LUCIUS ROAD SUPERSTOP**

**DAVIS & FLOYD**  
SINCE 1884  
909.439.9900  
100 HICKORY WAY SUITE 20  
SPRINGFIELD, IL 62760  
(618) 571-6000





| NO. | DESCRIPTION                                       | QTY | UNIT | PRICE  | TOTAL  |
|-----|---|-----|------|--------|--------|
| 1   | ADA HANDICAP SIGN                                 | 1   | EA   | 100.00 | 100.00 |
| 2   | PAINTED HANDICAP PARKING SYMBOL                   | 1   | EA   | 100.00 | 100.00 |
| 3   | ADA HANDICAP ACCESS LANE MARKINGS FOR CAR PARKING | 1   | EA   | 100.00 | 100.00 |
| 4   | TOTAL   |     |      |        | 300.00 |

**SITE DETAILS**

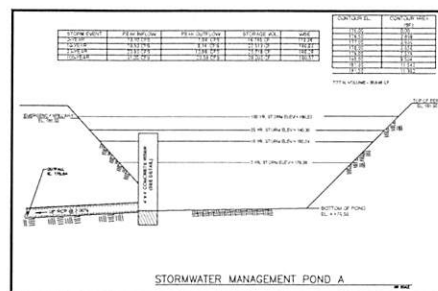
**CENTRAL MIDLANDS REGIONAL  
TRANSIT AUTHORITY**  
CITY OF LANSING, MICHIGAN  
LUCIUS ROAD SUPERSTOP

**DAVIS & FLOYD**  
ENGINEERS  
11111 WILSON ROAD, SUITE 100  
ANN ARBOR, MI 48106  
734.769.1111  
www.davisfloyd.com



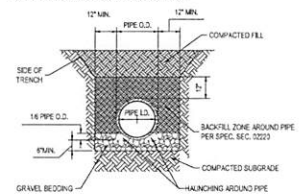


TEMPORARY STOCKPILE AREA  
NO SCALE

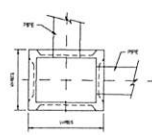


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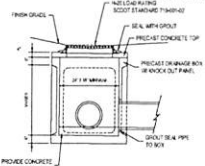
1. EXCAVATION FACE SHALL BE SHORED, SHIELDED OR SLOPED IN ACCORDANCE WITH OSHA "CONSTRUCTION STANDARDS FOR EXCAVATION".



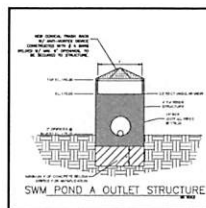
RCP TRENCH DETAIL



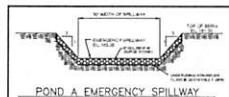
PLAN



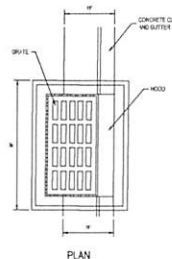
GRATE TYPE INLET  
NO SCALE



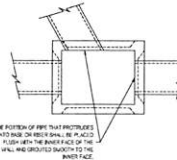
SWM\_POND A OUTLET STRUCTURE



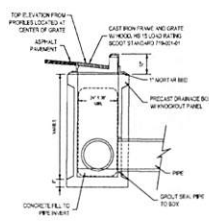
Copyright © 2010 by John Wiley & Sons, Inc.



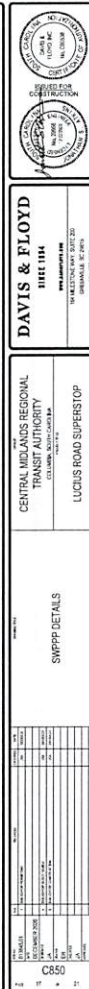
### PLAN



PIPE FINISH IN INLET DETAIL  
NO SCALE



CURB TYPE INLET  
NO SCALE



Approved for Release by NSA on 09-08-2013 pursuant to E.O. 13526  
This document contains information that is exempt from release under the provisions of the Freedom of Information Act, and may not be used to disclose information that is exempt from release under the provisions of the Freedom of Information Act.

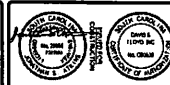
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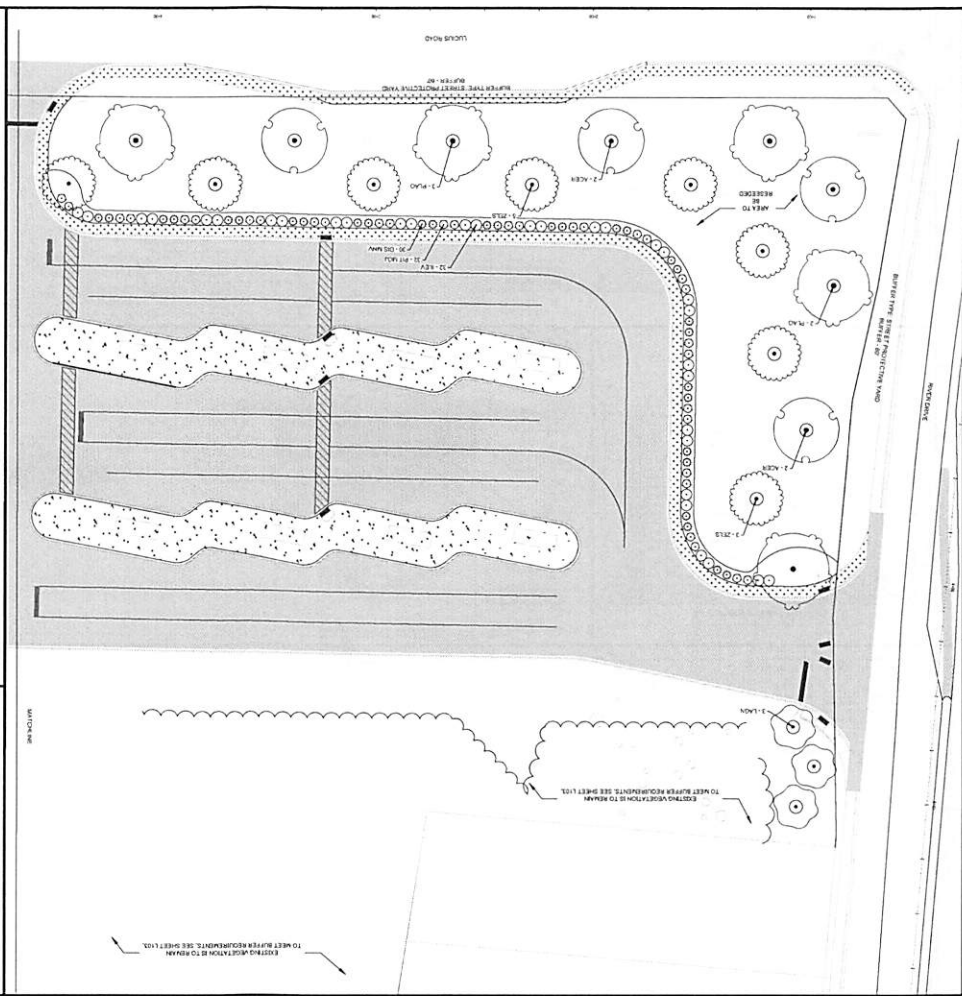
| NO. | DESCRIPTION | DATE | BY |
|-----|-------------|------|----|
| 1   | DESIGNED BY |      |    |
| 2   | CHECKED BY  |      |    |
| 3   | IN CHARGE   |      |    |
| 4   | DATE        |      |    |
| 5   | SCALE       |      |    |
| 6   | PROJECT NO. |      |    |
| 7   | SECTION NO. |      |    |
| 8   | DATE        |      |    |
| 9   | BY          |      |    |

SCDOT DETAILS

CENTRAL MIDLANDS REGIONAL  
TRANSIT AUTHORITY  
400 LUCAS ROAD, COLUMBIA, SC 29202  
LUCAS ROAD SUPERSTOP

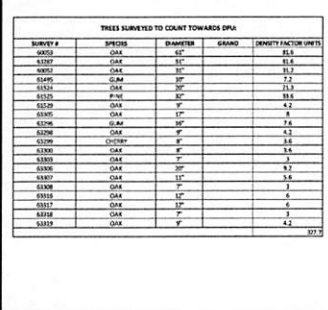
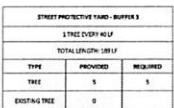
DAVIS & FLOYD  
11222 1124  
www.davisfloyd.com  
161 HILSTONE WAY, SUITE 200  
ANNANDALE, VA 22003  
800-457-6000



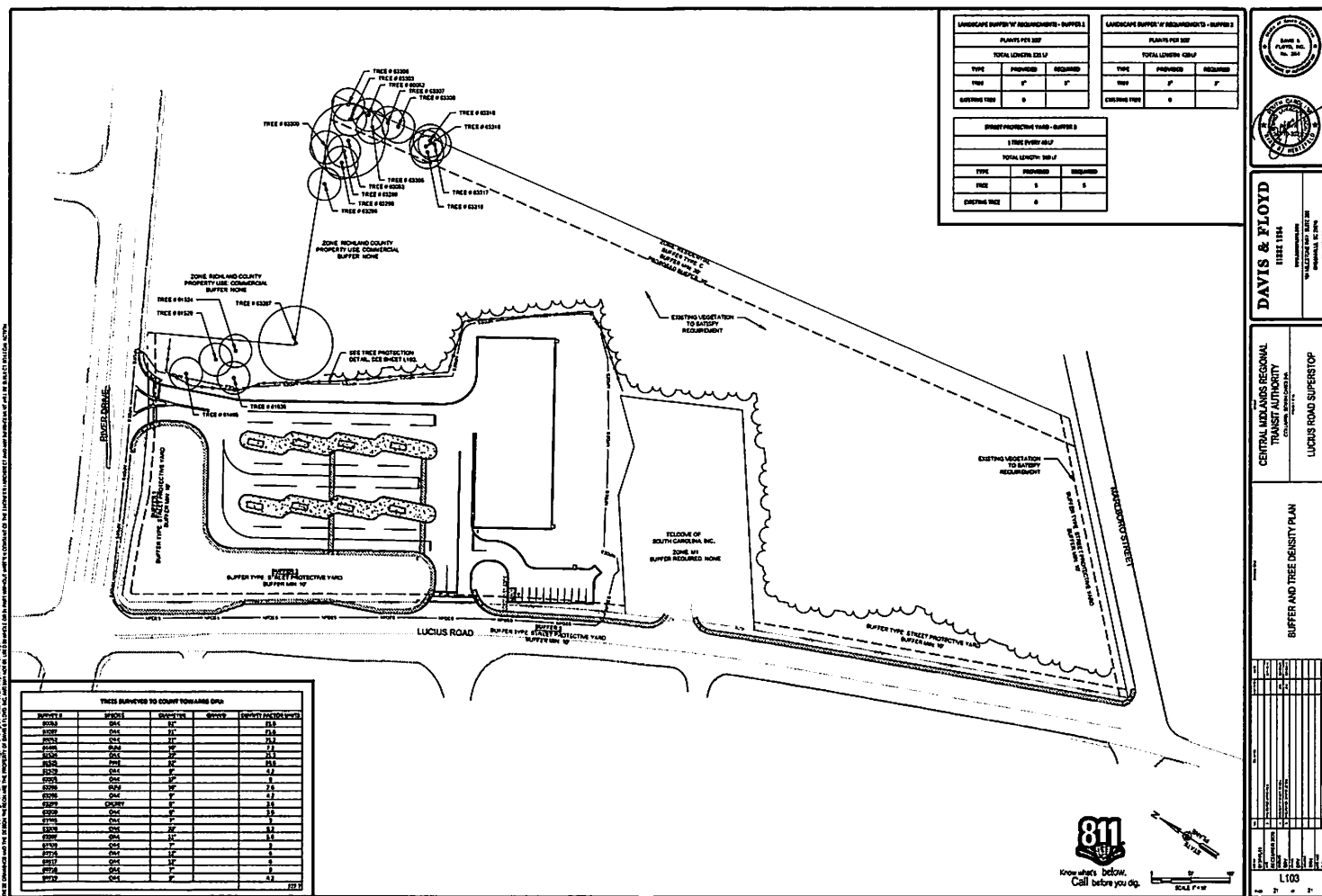
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- ASSUMPTION NOTES:**
- WHEREAN AN OBSERVATION IS SHOWN, THE FOLLOWING NOTES APPLY:
- 1. QUANTITY OF PLANT MATERIAL REQUIRED FOR THE PROJECT; VENDOR, CONTRACTOR RESPONSIBLE TO VERIFY QUANTITIES
  - 2. NOTED PLANT SPECIES SHALL PRECEDE QUANTITY (SEE SCHEDULE)
  - 3. BOTTLES FOR BOTTLED PLANT MATERIAL
  - 4. CONTAINER TYPE WHICH PLANT MATERIAL IS ENGAGED UPON SITE DELIVERY; HEIGHT AND CALIBER SHALL PRECEDE QUANTITY
  - 5. CONTAINER
  - 6. CALIBER/TYPE OF TRUNK, CALIBER SHALL PRECEDE QUANTITY (HEIGHT AND SPREAD)
  - 7. PLANT MATERIALS MUST BE PLANT MATERIAL AT INSTALLATION (PLANT PREEXISTING OR FROM SCHEDULE)
  - 8. SPACING - DISTANCE FROM CENTER OF EACH PLANT TO CENTER OF NEXT PLANT (PREEXISTING OR FROM SCHEDULE)
  - 9. PLANTING - SPECIFIC NOTES THAT SPECIFY OR DESCRIBE PLANT MATERIAL
- QUANTITY NOTES:**
- PLANT MATERIAL, LIVE, ROCK SCHEDULE, AND ANALOGOUS SCHEDULES PREPARED FOR ESTIMATING PURPOSES ONLY. QUANTITY ESTIMATES ARE BASED ON THE FOLLOWING ASSUMPTIONS: PROJECT SHALL BE CONSTRUCTED PER PLANS AND/OR SCHEDULES. CONTRACTOR SHALL BE ALLOWED TO RUN QUANTITY TAKE-OFFS TO DETERMINE QUANTITIES TO BE DETERMINED QUANTITIES TO THEIR SATISFACTION. REPORTING QUANTITY TO PROCEED AS QUANTITY AND/OR PROJECT SHALL BE CONSTRUCTED PER PLANS AND/OR SCHEDULES. QUANTITY ESTIMATES SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- NOTES:**
- 1. QUANTITY PROFILES DO NOT ACCOUNT FOR WASTE.
  - 2. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND INSTALL ACCORDING TO PLAN.



**CENTRAL MIDLANDS REGIONAL  
TRANSIT AUTHORITY**  
COLUMBIA, SOUTH CAROLINA  
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**LUCIUS ROAD SUPERSTOP**

DRIVEWAY PLAN - LUCIUS ROAD



**Lucius Road Driveway PROFILE**



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