

ORIGINAL
STAMPED IN RED

ORDINANCE NO.: 2020-103

Granting an encroachment to Choice Hotels for the use of the right of way areas of the 1000 block of Lady Street and 1200 block of Park Street adjacent to its building at 1000 Lady Street, 1010 Lady Street, 1014 Lady Street and 1218 Park Street, Richland County TMS#09013-09-01, 09013-09-02, 09013-09-04, and 09013-09-22 for the installation and maintenance of sidewalks, driveways, parking, landscaping and irrigation

WHEREAS, Choice Hotels (hereinafter "Grantee") desires to utilize a portion of the right of way area of the 1000 block of Lady Street and 1200 block of Park Street adjacent to 1000 Lady Street, 1010 Lady Street, 1014 Lady Street and 1218 Park Street, Richland County TMS#09013-09-01, 09013-09-02, 09013-09-04, and 09013-09-22, for the installation and maintenance of a concrete sidewalk approximately two hundred ten (210') feet in length and seven (7') feet in width; a concrete sidewalk approximately one hundred eighty-three (183') feet in length and three (3') feet in width; three (3) concrete sidewalks approximately twelve (12') feet in length and three (3') feet in width; a driveway approximately twenty-nine (20') feet in length and fourteen (14') feet in width; a driveway approximately thirty-eight (38') feet in length and twenty-eight (28') feet in width; landscaping and irrigation, as shown on the attached drawing; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 1st day of December, 2020, that Grantee is hereby granted the right to use the right of way areas of the 1000 block of Lady Street and 1200 block of Park Street adjacent to 1000 Lady Street, 1010 Lady Street, 1014 Lady Street and 1218 Park Street, Richland County TMS#09013-09-01, 09013-09-02, 09013-09-04, and 09013-09-22, for the installation and maintenance of a concrete sidewalk approximately two hundred ten (210') feet in length and seven (7') feet in width; a concrete sidewalk approximately one hundred eighty-three (183') feet in length and three (3') feet in width; three (3) concrete sidewalks approximately twelve (12') feet in length and three (3') feet in width; a driveway approximately twenty-nine (20') feet in length and fourteen (14') feet in width; a driveway approximately thirty-eight (38') feet in length and twenty-eight (28') feet in width; landscaping and irrigation, as shown on the attached drawing.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.

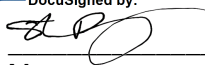
ORIGINAL
STAMPED IN RED

2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.
3. Landscaping to be maintained by property owner.
4. Existing irrigation should not spray walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.
5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.
6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.
7. All trees shall be protected and no large tree roots shall be removed from any existing trees.


BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:


Assistant City Manager Gentry

DocuSigned by:

 Mayor
139500110DF264AF...

Approved by:

DocuSigned by:

 City Manager

Approved as to form:

DocuSigned by:

 City Attorney

ATTEST:
 DocuSigned by:

 City Clerk
CBFE071959184E4...

Introduced: 11/17/2020
Final Reading: 12/1/2020

**CITY COUNCIL
ENCROACHMENT SUMMARY
2020-0**



**1000 BLOCK OF LADY STREET AND 1200 BLOCK OF PARK STREET
ADJACENT TO 1000, 1010, 1014 LADY STREET AND 1218 PARK STREET
SIDEWALKS, LANDSCAPING, AND IRRIGATION**

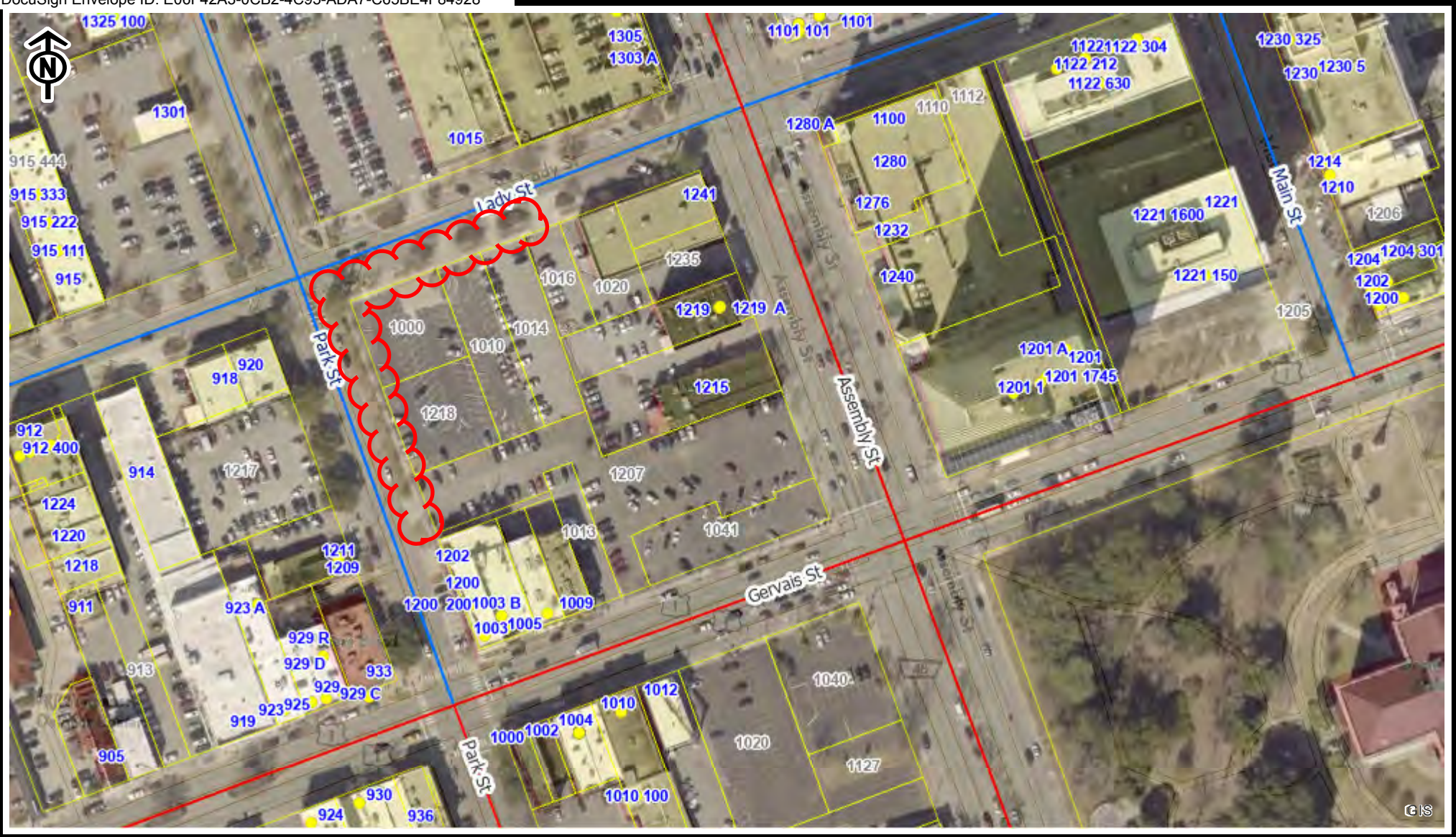
Subject Property:	Right-of-way adjacent to 1000, 1010, 1014 Lady Street and 1218 Park Street
Council District:	2
Proposal:	The applicant is requesting an encroachment for installation and maintenance of sidewalks, landscaping, and irrigation
Applicant:	Casey Gemunder, Choice Hotels
Staff Recommendation:	Approval

Detail:	<p>The applicant is requesting an encroachment for installation and maintenance of a concrete sidewalk approximately two hundred ten (210') feet in length seven (7') feet in width; concrete sidewalk approximately one hundred eighty-three (183') feet in length three (3') feet in width; three (3) concrete sidewalks approximately twelve (12') feet in length three (3') feet in width; driveway approximately twenty-nine (20') feet in length fourteen (14') feet in width; driveway approximately thirty-eight (38') feet in length twenty-eight (28') feet in width; landscaping and irrigation, as shown on the attached drawing; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none"> 1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard. 2. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained. 3. Landscaping to be maintained by property owner. 4. Existing irrigation should not spray walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets. 5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle. 6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes. 7. All trees shall be protected and no large tree roots shall be removed from any existing
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CITY AGENCY COMMENTS FOR ENCROACHMENT

Planning	Recommend approval.
Streets	Recommend approval.
Utilities and Engineering	Recommend approval .
Traffic Engineering	Recommend approval.

Forestry	Recommend approval.
Land Development	Recommend approval.
Fire	Recommend approval.



Cambria Hotel
City of Columbia



This map was prepared using the City GIS Viewer:

City of Columbia - GIS Division
Wednesday, August 19, 2020

Address Point

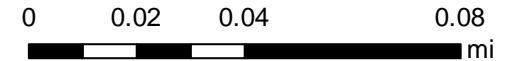
- Active
- Vacant
- Tax Parcel

Street & Ownership

- Interstate

- Highway
- City Maintained
- State Maintained
- Private
- Others
- Red: Band_1

- Green: Band_2
- Blue: Band_3



**CITY OF COLUMBIA
GIS DATA DISCLAIMER:**

The City of Columbia GIS data represented on this map or plan is the product of the compilation of data produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.

(INCLUDING OUTDOOR DINING/LANDSCAPING/STUDENT HOUSING)

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment. Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required. In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or catimmons@columbiasc.net.

Please complete and submit this form along with photographs and drawings or site plan drawn to scale (including a 8-1/2 x11) to Johnathan Chambers by e-mail at jechambers@columbiasc.net; fax at 803-343-8779; or mail to Johnathan Chambers, Development Services, POB 147 Columbia, SC 29217, for preparation of an encroachment ordinance. Copies to City departments should be directed to the contact person for that department as shown below.

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager. Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Date: 07/14/2020 Property Owner: Choice Hotels
 Applicant's Name if different from Property Owner: Casey Gemunder
 Contact Information: Telephone Number: (301) 628-4396 Fax Number: _____
 Mailing address: 1 Choice Hotels Circle, Suite 400 Rockville, Maryland 20850 E-mail address: casey.gemunder@choicehotels.com
 Business Name/Development Name for Encroachment: Cambria Hotel

Encroachment type: Wall Fence Columns Steps Irrigation System Landscaping Driveway Pavers Sidewalk/Walkway
 Planters Awning Underground Utilities Other: Re-stripping of existing parking spaces along Park Street and relocation of two spaces along Lady Street.

Dimensions (height/width/length):
 (i.e. 6'x42' wooden privacy fence;
 two 12'x4'x3' concrete steps)

Construction material: _____

OUTDOOR DINING: *The Fire Marshal's posted capacity allowed within the business at the time of enactment of the outdoor dining encroachment ordinance shall include the total number of patron seating approved for the outdoor dining encroachment area, if not already included in the posted capacity allowance, so that patrons relocating from inside to the outside or from outside to the inside do not cause the posted capacity to be exceeded.*

Hours/days of operation for outdoor dining: _____

Posted Maximum Capacity Allowance (inside/outside combined): _____ No. of chairs outdoors: _____ No. of Tables Outdoors: _____

Do you serve: Wine Beer Liquor SCDOR ABL No.: _____ If not, do you intend to apply for an ABL license? _____

I acknowledge that the adjoining property owners and businesses have been contacted and approve the addition of outdoor dining at this location to include the service of beer, wine and/or liquor if applicable during the business hours noted above, and that any changes made to the business hours, use of the encroachment area or items allowed within the encroachment area will require an amendment to the encroachment ordinance.

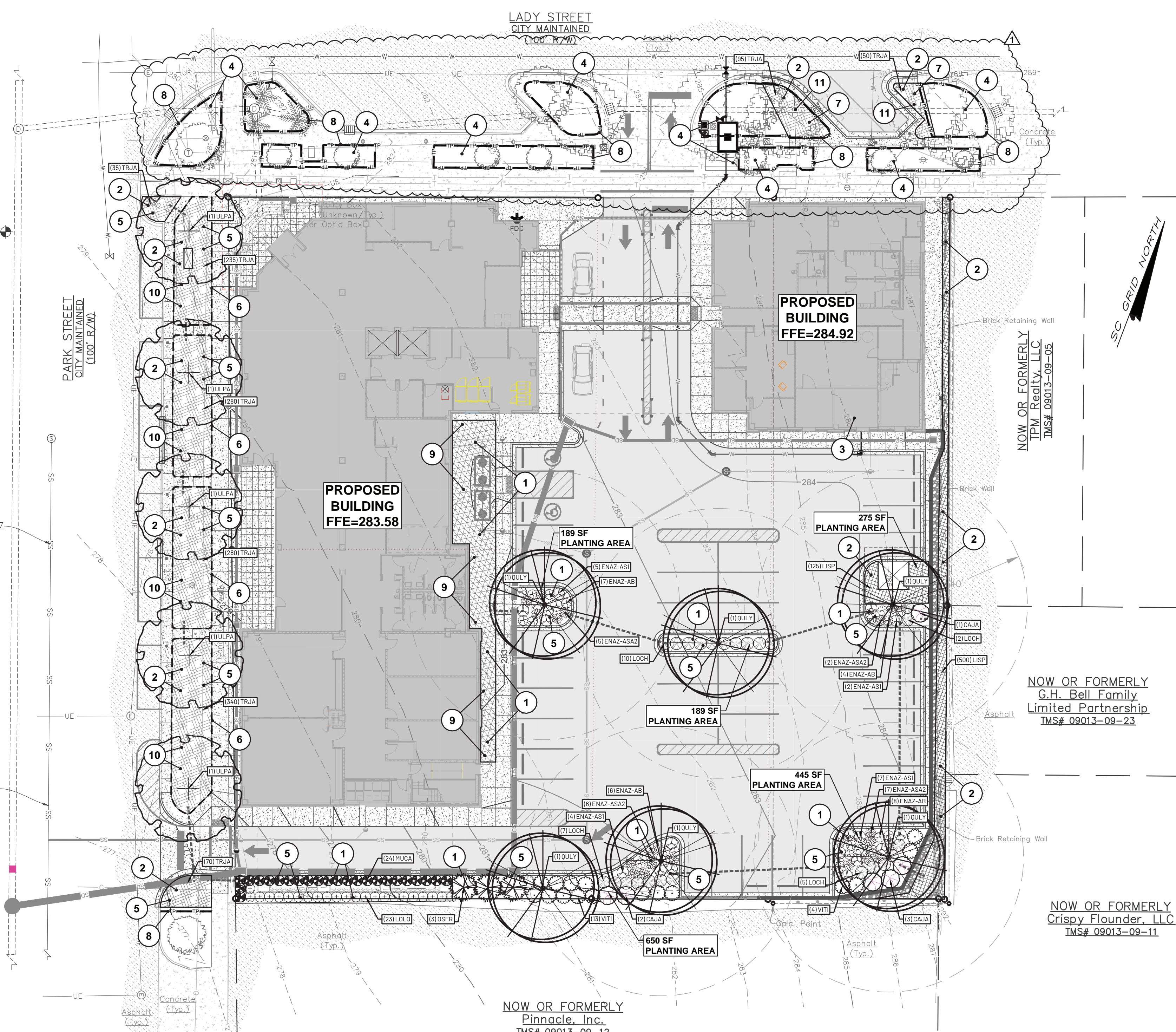
Name/Title: _____
 Date: _____

I acknowledge that any changes made to the business, hours, use of the encroachment area, or items allowed within the encroachment area, to include obtaining a license to sell beer, wine and/or liquor will require an amendment to the encroachment ordinance.

Name/Title: _____
 Date: _____

The proposed ordinance will be sent to the requesting party and City offices for review and approval. Johnathan Chambers will compile the recommendations and forward them to the City Clerk for scheduling before City Council. This process may take from 30-90 days.

CONTACT	DEPARTMENT	PHONE	FAX	E-MAIL
Johnathan Chambers	Development Services (Land Development)	803-545-3333	803-343-8779	jechambers@columbiasc.net
John Fellows	Development Services (Planning)	803-545-3222	803-733-8647	jsfellows@columbiasc.net
Brian Cook	Development Services (Zoning)	803-545-3332	803-733-8647	kbcook@columbiasc.net
Jerry Thompson	Development Services (Building Inspections)	803-545-3420	803-733-8699	jlthompson@columbiasc.net
Fanessa Pinckney	Development Services (Permits)	803-545-3420	803-733-8699	fcpinckney@columbiasc.net
Amy Moore	Development Services (Historic Preservation)	803-545-3222	803-733-8647	aemoore@columbiasc.net
Robert Harkins	Development Services (Plans Review)	803-545-3420	803-733-8647	rlharkins@columbiasc.net
Denny Daniels	Utilities & Engineering (Construction Management)	803-545-3400	803-988-8199	jddaniels@columbiasc.net
Robert Anderson	Public Works (Administration)	803-545-3780	803-733-8648	randerson@columbiasc.net
Robert Sweat	Public Works (Street Division)	803-545-3790	803-545-3785	rgsweatt@columbiasc.net
David Brewer	Public Works (Traffic Engineering)	803-545-3850	803-733-8648	ddbrewer@columbiasc.net
Sara Hollar	Public Works (Forestry & Beautification)	803-545-3860	803-733-8648	sehollar@columbiasc.net
John Hooks	Public Works (Solid Waste)	803-545-3800	803-733-8648	jphooks@columbiasc.net
Chip Timmons	Risk Management	803-733-8306	803-733-8245	catimmons@columbiasc.net
David Koon	Fire Department	803-545-3701	803-401-8839	cdgkoon@columbiasc.net
John David Spade	Parking Services	803-545-3070	803-733-8523	spade@columbiasc.net



LANDSCAPE NOTES
1. MATERIAL LIST WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING THE DRAWINGS AND SPECIFICATIONS.

LANDSCAPE REQUIREMENTS
1. Tree Survey Provided - no grand trees exist on the site
2. Tree Density Factor (DF): Commercial site: 30 units/AC = 1.01 AC x 30 = 30 units required

CODED LANDSCAPE NOTES
1. 3" TRIPLE HAMMERED HARDWOOD BARK MULCH IN ALL LANDSCAPE AREAS (TYP.)
2. 2" TRIPLE HAMMERED HARDWOOD BARK MULCH IN GROUNDCOVER (JASMINE AND LIROPE) BEDS.

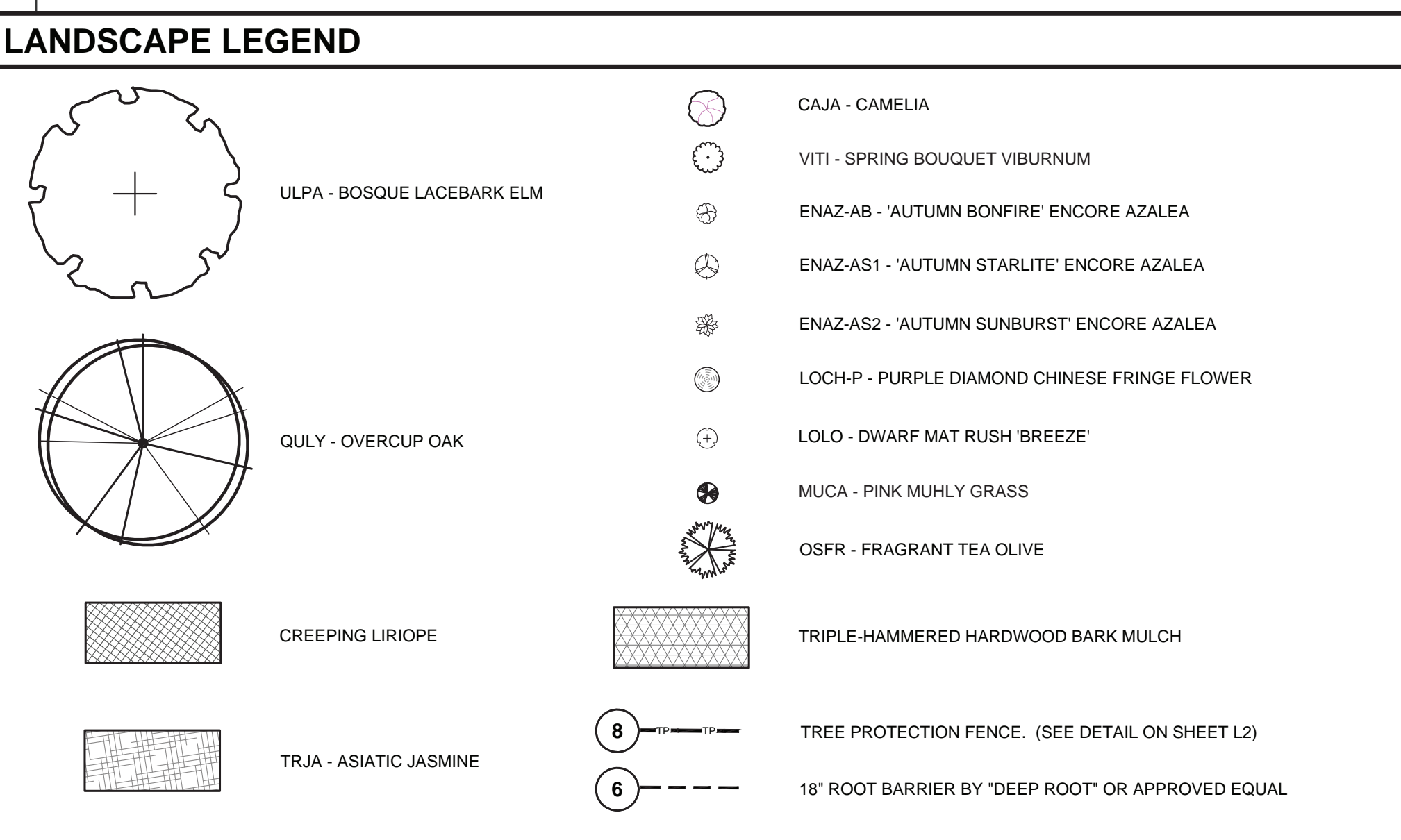
SAVED TREES AND PROTECTED ZONE NOTES
1. ALL CONSTRUCTION ACTIVITY WITHIN THE PROTECTED ZONE OF A SAVED TREE SHALL COMPLY WITH SECTION 01 61 30 TREE PROTECTION SPECIFICATIONS UNLESS OTHERWISE CALLED OUT ON THIS PLAN OR IN THE ARBORIST'S REPORT.

TOPSOIL SPECIFICATIONS
A. Topsoil: 1. Natural, friable, loamy soil characteristic of productive soil in vicinity. It shall be reasonably free of stones larger than 1 inch, clay lumps, roots, twigs, refuse, debris, and other foreign matter harmful to plant growth.

IRRIGATION DESIGN-BUILD
ALL PLANTINGS SHALL BE MECHANICALLY IRRIGATED
NO DRIP IRRIGATION SHALL BE ALLOWED UNLESS IT CAN BE DEMONSTRATED TO THE LANDSCAPE ARCHITECT THAT THE SYSTEM CAN MAINTAIN A MINIMUM PRESSURE OF 25 PSI WHEN ALL ZONES ARE IN FULL USE.

NURSERY NOTES
THE FOLLOWING ARE ACCEPTABLE NURSERIES FOR SPECIMEN TREES 2" CALIPER AND ABOVE, AS WELL AS SHAPE MYRTLES.
1. CHERRY LAKE TREE FARM (803)409-2171
2. SHADY GROVE NURSERIES (800)849-5723

LANDSCAPE LEGEND
ULPA - BOSQUE LACEBARK ELM
ENAZ-AB - AUTUMN BONIFIRE' ENCORE AZALEA
ENAZ-AS1 - AUTUMN STARLITE ENCORE AZALEA
ENAZ-AS2 - AUTUMN SUNBURST' ENCORE AZALEA



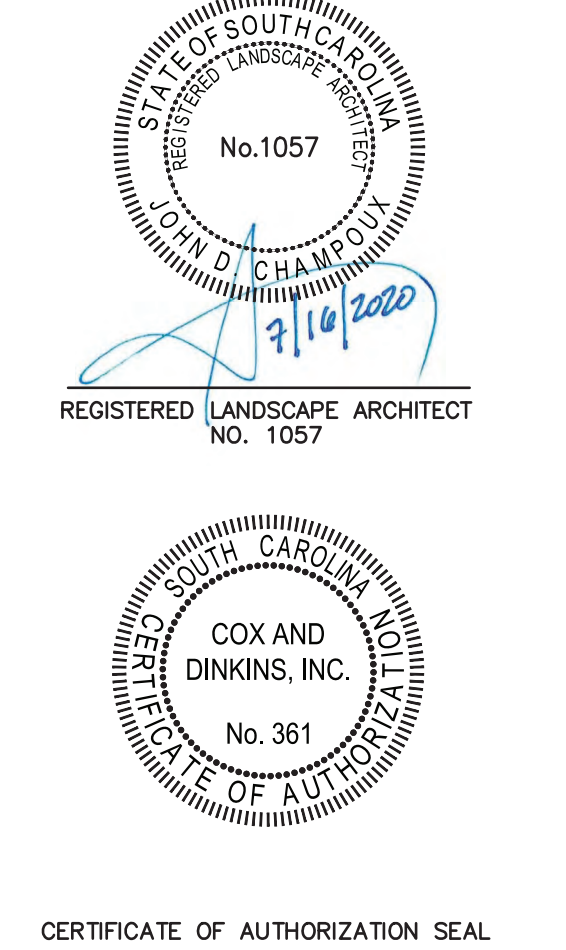
REFERENCES:
1. BOUNDARY PLAT & TOPOGRAPHIC MAP PREPARED FOR CHOICE HOTELS INTERNATIONAL, INC., BY COX AND DINKINS, INC., DATED MARCH 12, 2020
2. ALTANPS LAND TITLE SURVEY FOR 1000, 1010, & 1014 LADY ST, 1218 PARK ST, PREPARED BY BLEW & ASSOCIATES, P.A., DATED OCTOBER 31, 2019.



CAMBRIA HOTEL COLUMBIA, S.C.



701-A LADY STREET COLUMBIA, SOUTH CAROLINA 29201 TEL. 803.765.2418 FAX 803.765.2419 WWW.LS3P.COM



CERTIFICATE OF AUTHORIZATION SEAL

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Table with 3 columns: No., Description, Date. Row 1: 1, Revised Per City of Columbia Comments, 07/16/2020

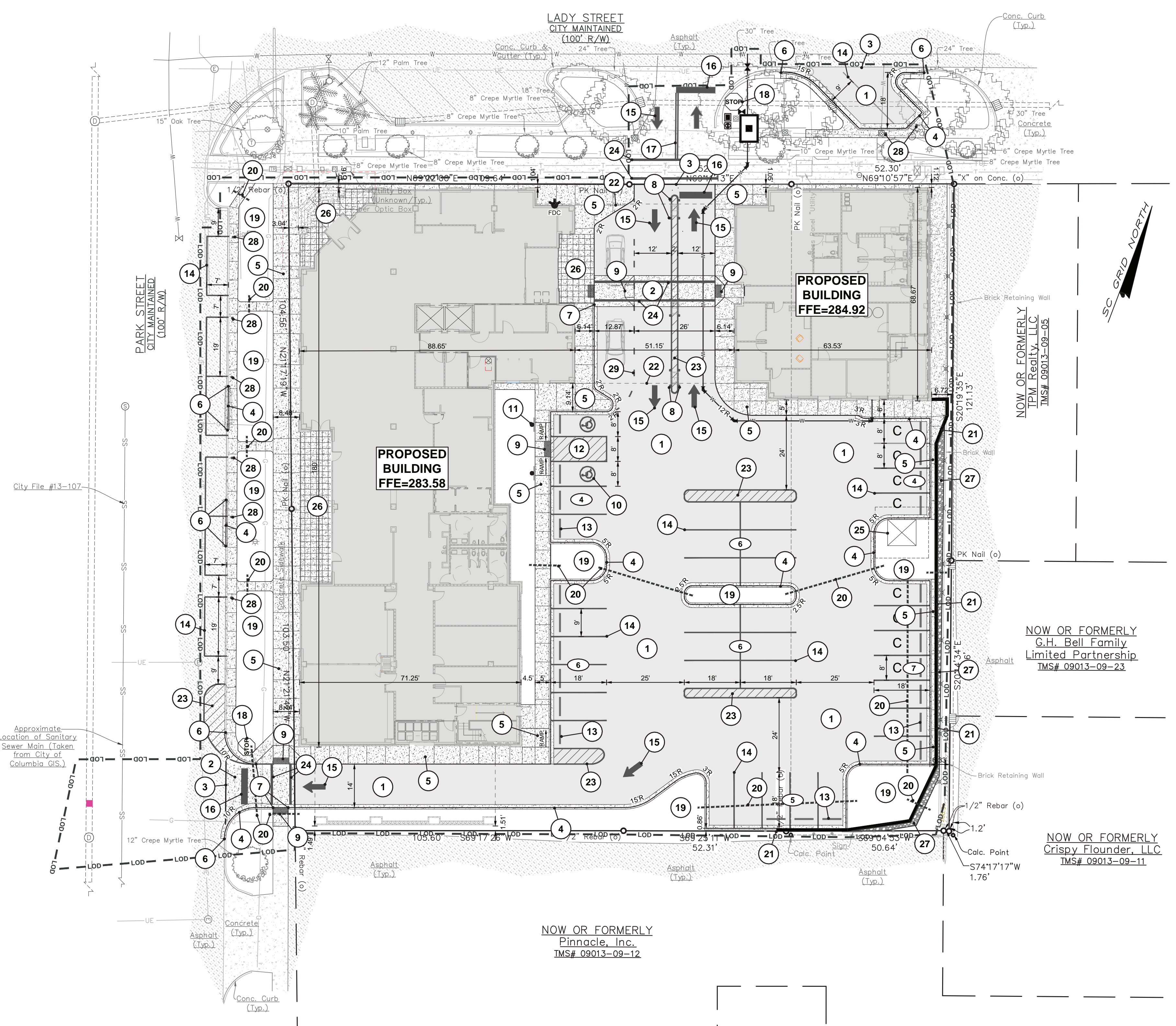
PROJECT: 2150-137530 C&D #212 5/26/2020

LANDSCAPE PLAN L-1

BIM 360://Vista Home/ARCO_Vista_Hotel.rvt 4/29/2020 5:29:47 PM

The Palmetto Utility Protection Service, Inc. South Carolina 811. 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA CALL 811 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

CITY OF COLUMBIA R/W NOTE: 1. ALL WORK PERFORMED WITHIN A CITY OF COLUMBIA RIGHT-OF-WAY SHALL COMPLY WITH THE APPROVED CITY OF COLUMBIA ENCROACHMENT PERMIT.



PAVEMENT LEGEND

1	STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT (SEE DETAIL)	2	STANDARD DUTY CONCRETE PAVEMENT (SEE DETAIL)
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PARKING DATA

VEHICULAR PARKING REQUIRED (1) Vehicular spaces per bedroom = 1 1 x 144 bedrooms = 144 required (BOZA Approved Reduction)	VEHICULAR PARKING PROVIDED ACCESSIBLE SPACES = 2 STANDARD SPACES (9'x18') = 28 COMPACT SPACES (8'x18') = 8 TOTAL = 40 spaces provided	NUMBER OF VEHICULAR PARKING SPACES C COMPACT SPACE
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NOTES REGARDING STRIPING:

- ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC OR APPROVED PERMANENT EQUIVALENT.
- ALL PARKING LOT STRIPING SHOWN SHALL BE PERFORMED BY THE CONTRACTOR USING WHITE TRAFFIC MARKING PAINT UNLESS OTHERWISE LISTED BELOW. NOTED ON THE PLANS OR STATED IN THE APPROVED ENCROACHMENT PERMIT(S). PAINT SHALL BE FS-TT-P-1952, (WATERBORNE) TRAFFIC PAINT AND SHALL BE APPLIED IN TWO COATS AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ITEMS THAT SHALL BE PAINTED WHITE INCLUDE: PARKING STALLS, DIRECTIONAL ARROWS, STOP BARS, AND PEDESTRIAN CROSS WALKS.
- ITEMS THAT SHALL BE PAINTED YELLOW INCLUDE: ALL SITE WORK PROTECTIVE GUARD POSTS; STEEL PIPE BASE OF HANDICAP PARKING SIGNS, AND LOADING AREAS.
- ITEMS THAT SHALL BE PAINTED BLUE PAINT INCLUDE: HANDICAP PARKING STALLS; HANDICAP SYMBOLS, AND ACCESSIBLE STRIPED ISLANDS ADJACENT TO HANDICAP PARKING SPACES.

SIGNAGE NOTES

- THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL, AT ALL HANDICAPPED PARKING SPACES. SIGNS SHALL BE 12"x18", 0.05 ALUMINUM WITH BAKED ENAMEL FINISH. SIGNS SHALL BE WHITE LETTERING ON BLUE BACKGROUND, WITH INSTALLATION AS SHOWN ON THE DETAIL SHEET. SIGNS SHALL CONFORM TO FEDERAL HIGHWAY ADMINISTRATION AND/OR SCDOT SPECIFICATIONS. INCLUDE "VAN ACCESSIBLE" SIGNAGE WHERE APPLICABLE. ALL SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL "STOP" SIGNS IN THE LOCATIONS INDICATED ON THE PLANS. "STOP" SIGNS SHALL BE 36"x36", WITH RED REFLECTORIZED BACKGROUND AND WHITE REFLECTORIZED LEGEND AND BORDER CONFORMING TO MUTCD SPECIFICATIONS FOR R1-1-36.

RETAINING WALL NOTES

- RETAINING WALLS TO BE MSE SEGMENTAL BLOCK WALL OR APPROVED EQUAL.
- BOTTOM OF WALL ELEVATION REPRESENTS LOWER AT GRADE ELEVATION ONLY.
- CONTRACTOR SHALL PROVIDE DESIGN OF RETAINING WALL AND FOOTINGS, SUBDRAINAGE/WATERPROOFING DESIGN, BRIDGING OF PROPOSED STORM DRAINAGE PIPE CROSSINGS, MATERIAL, SUBMITTALS, AND/OR SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF SOUTH CAROLINA.
- CONTRACTOR AND DESIGN TO COMPLY WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- IN NO WAY SHOULD THESE CONSTRUCTION DOCUMENTS BE CONSIDERED AS DESIGN DOCUMENTS FOR THE PROPOSED RETAINING WALL.
- CONTRACTOR TO SUBMIT COLOR SAMPLES TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

- CODED NOTES**
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT. VERIFY PAVEMENT SECTION WITH PROJECT GEOTECHNICAL REPORT AND/OR OWNER'S GEOTECHNICAL ENGINEER. (TYPICAL) (SEE DETAIL)
 - STANDARD DUTY CONCRETE PAVEMENT. (SEE DETAIL) (TYPICAL) INSTALL CONTROL JOINTS AS SHOWN ON THE PLAN. INSTALL EXPANSION JOINTS AT JUNCTIONS WITH OTHER PAVEMENT MATERIALS, WALLS, LIGHTING, AND OTHER NON-MOVING OBJECTS. VERIFY PAVEMENT SECTION WITH GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL TIE THE NEW ASPHALT PAVEMENT INTO EXISTING PAVEMENT ALONG THIS LINE.
 - FURNISH AND INSTALL NEW 18" CONCRETE "L" TYPE CURB AND GUTTER. CONTRACTOR TO MATCH EXISTING WIDTH IN RIGHT-OF-WAY AND TRANSITION AS NEEDED. INSTALL CONTROL JOINTS AT 10.0' O.C. AND EXPANSION JOINTS AT 50.0' O.C. SEAL ALL EXPANSION JOINTS. (TYPICAL) (SEE DETAIL)
 - FURNISH AND INSTALL 4" THICK 3000 PSI CONCRETE. (WIDTH VARIES AS SHOWN ON PLAN) CONTRACTOR SHALL INSTALL CONTROL JOINTS AS SHOWN ON PLAN OR AT 8.0' O.C. MAXIMUM AND AT BENDS IN THE CONCRETE. INSTALL EXPANSION JOINTS AT JUNCTIONS BETWEEN WALKS. MAXIMUM CROSS SLOPE = 2.0%. SEAL ALL EXPANSION JOINTS. ALL SIDEWALKS ALONG ACCESSIBLE ROUTES SHALL BE ADA COMPLIANT. (TYPICAL) (SEE DETAIL)
 - CONTRACTOR SHALL TIE THE NEW CURB AND GUTTER INTO EXISTING CURB AND GUTTER AT THIS LOCATION.
 - CONTRACTOR SHALL FEATHER CURB AT THIS LOCATION. (SEE DETAIL)
 - FURNISH AND INSTALL PAINTED YELLOW BOLLARD. (TYPICAL) (TOTAL OF 12)(SEE DETAIL)
 - ACCESSIBLE RAMP WITH DETECTIBLE WARNING SURFACE. FEATHER CURB WHEN APPLICABLE. (TYPICAL) (SEE DETAIL) ENSURE LANDING AREA SLOPE DOES NOT EXCEED 2.0%. MAXIMUM RISE SHALL NOT EXCEED 6" IN 6'.
 - APPLY PAINTED ACCESSIBLE SYMBOL. (TYPICAL AT ALL ACCESSIBLE PARKING SPACES) (SEE DETAIL)
 - FURNISH AND INSTALL ACCESSIBLE SIGNAGE. (TYPICAL AT ALL ACCESSIBLE PARKING SPACES) (SEE DETAIL)
 - APPLY 4" WIDE PAINTED BLUE STRIPING FOR ACCESSIBLE ROUTES @ 45°, 2' O.C. PER ADA STANDARDS. (SEE STRIPING NOTES)
 - FURNISH AND INSTALL PRECAST CONCRETE WHEELSTOP. (TYPICAL) (SEE DETAIL)
 - APPLY 4" WIDE PAINTED WHITE PARKING LOT STRIPING. (TYPICAL) (SEE STRIPING NOTES)
 - APPLY WHITE TRAFFIC DIRECTIONAL FLOW ARROW. (TYPICAL) (THERMOPLASTIC IN RIGHT-OF-WAY)(SEE STRIPING NOTES) (SEE DETAIL)
 - APPLY 18" WIDE WHITE STOP BAR. (TYPICAL) (THERMOPLASTIC IN RIGHT-OF-WAY)(SEE STRIPING NOTES)
 - APPLY DOUBLE 4" WIDE THERMOPLASTIC YELLOW LANE DIVIDING LINES. (SEE STRIPING NOTES)
 - FURNISH AND INSTALL 36" STOP SIGN PER MUTCD R1-1-36. (TYPICAL)
 - LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR PERMANENT GROUND COVER.
 - FURNISH AND INSTALL SLEEVING FOR IRRIGATION AND ELECTRICAL. (COORDINATE WITH LANDSCAPE, IRRIGATION, AND SITE ELECTRICAL PLANS FOR EXACT NUMBER AND LOCATION) (SEE DETAIL)
 - RETAINING WALL. (SEE RETAINING WALL NOTE) (DESIGN BY OTHERS)
 - BUILDING OVERHANG. SEE ARCHITECTURAL PLANS.
 - APPLY 4" WIDE PAINTED WHITE STRIPING @ 45°, 2' O.C. PER ADA STANDARDS. (THERMOPLASTIC IN THE RIGHT-OF-WAY)(MEET CITY STANDARD)(SEE STRIPING NOTES)
 - 6' WIDE PEDESTRIAN CROSSWALK. (THERMOPLASTIC IN THE RIGHT-OF-WAY)(SEE STRIPING NOTES)
 - TRANSFORMER BY OTHERS. COORDINATE WITH ARCHITECTURAL AND ELECTRICAL PLANS.
 - CONCRETE PATTERN BY OTHERS. COORDINATE WITH ARCHITECTURAL PLANS.
 - 6" DEEP 2'-3" RIVER ROCK ON NON-WOVEN FILTER FABRIC. SEE DETAIL.
 - RELOCATED PARKING METER. COORDINATE WITH CITY OF COLUMBIA.
 - 4" WIDE 2'-3" SKIP LINES @ 5' SPACING. (TYPICAL)(SEE STRIPING NOTES)

REFERENCES:

- BOUNDARY PLAT & TOPOGRAPHIC MAP PREPARED FOR CHOICE HOTELS INTERNATIONAL, INC., BY COX AND DINKINS, INC., DATED MARCH 12, 2020
- ALTANSPS LAND TITLE SURVEY FOR 1000, 1010, & 1014 LADY ST; 1218 PARK ST, PREPARED BY BLEW & ASSOCIATES, P.A., DATED OCTOBER 31, 2019.

GENERAL NOTES:

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REVISIONS:

No.	Description	Date
1	Revised Per City of Columbia Comments	07/16/2020

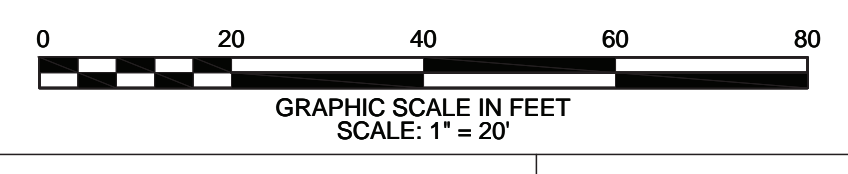
PROJECT: 2152-197530
C&D #2162
DATE: 5/26/2020

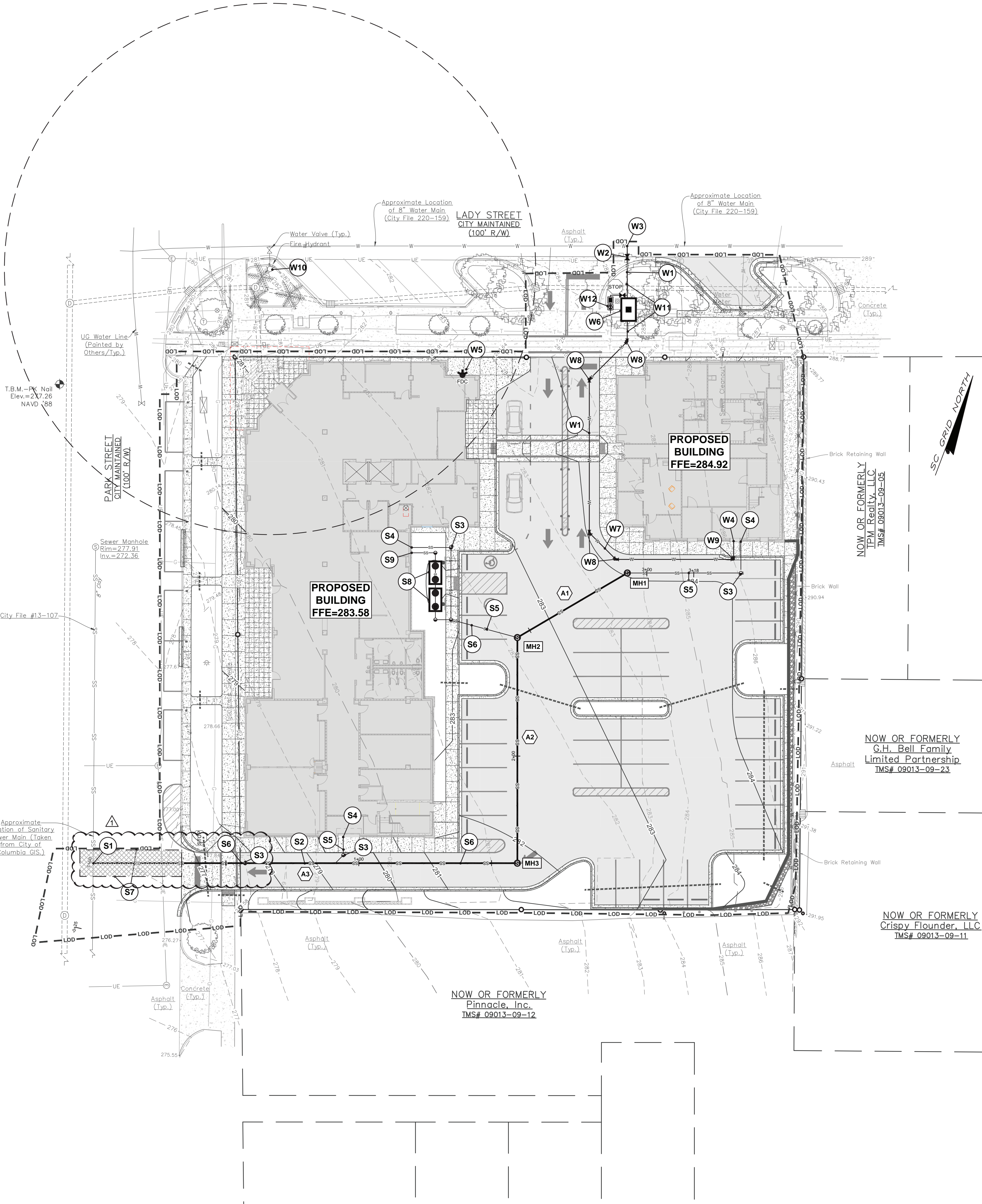
SITE PLAN

C-2

NOTE:
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The Palmetto Utility Protection Service, Inc.
South Carolina 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
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CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.





WATER AND SEWER LEGEND

- PROPOSED WATER SERVICE, PROPOSED WATER VALVE, EXISTING WATER MAIN, EXISTING WATER VALVE, PROPOSED 6" SEWER SERVICE, PROPOSED SEWER SERVICE, EXISTING SEWER MAIN, EXISTING SEWER CLEANOUT, EXISTING SEWER MANHOLE, PROPOSED WATER METER, PROPOSED FIRE DEPARTMENT CONNECTION, EXISTING WATER METER, EXISTING FIRE HYDRANT, EXISTING CITY OF COLUMBIA EASEMENT, PROPOSED SEWER MANHOLE, PROPOSED SEWER CLEANOUT, SEWER MAIN DESIGNATION, SEWER MANHOLE DESIGNATION.

WATER AND SEWER SYSTEM NOTES:

- 1. ALL MATERIALS AND INSTALLATION OF THE PROPOSED WATER AND SANITARY SEWER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH BY THE CITY OF COLUMBIA.
2. ALL PROPOSED WATER AND SEWER LINES (MANS AND SERVICES) SHALL CONFORM TO TEN STATE STANDARDS.
3. CONTRACTOR SHALL NOTIFY THE CITY OF COLUMBIA AND THE ENGINEER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING NECESSARY PERMITS AND LICENSES FROM THE CITY OF COLUMBIA PRIOR TO COMMENCING CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY TESTING OF THE NEW WATER SYSTEM AND SANITARY SEWER SYSTEM (MANS AND/OR SERVICES) ACCORDING TO THE REQUIREMENTS OF THE CITY OF COLUMBIA.
6. CONTRACTOR SHALL FURNISH AND INSTALL A STONE SPLASH PAD AT ALL PROPOSED HYDRANTS, OR OTHER POINTS OF DISCHARGE, PRIOR TO THE REQUIRED TESTING OF THE WATER SYSTEM.
7. CONTRACTOR SHALL FURNISH AND INSTALL SILT FENCING AND/OR SLOTTED SEDIMENT AND EROSION CONTROL DEVICES, AS NECESSARY, TO CONTROL AND LIMIT, TO THE MAXIMUM EXTENT POSSIBLE, EROSION DURING THE INSTALLATION AND TESTING OF THE WATER SYSTEM.
8. ALL DISTURBED AREAS RESULTING FROM THE INSTALLATION OF THE PROPOSED WATER SYSTEM AND SANITARY SYSTEM SHALL BE CLEANED, GRADED, AND IMMEDIATELY STABILIZED UPON COMPLETION OF THE INSTALLATION.
9. OTHER UTILITY CROSSINGS MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION(S) AND ELEVATION(S) OF UTILITY CROSSINGS OF BOTH EXISTING AND PROPOSED UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN, PROTECT, RELOCATE, OR CONNECT ANY AND ALL OPERATING UTILITIES FOUND DURING CONSTRUCTION THAT ARE NOT SHOWN ON THIS PLAN. CONSULT THE ARCHITECT AND ENGINEER IMMEDIATELY IF UTILITIES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT SHOWN WITHIN THESE PLANS.
11. CONTRACTOR SHALL FURNISH AND INSTALL ALL FITTINGS, BENDS, ETC. AS REQUIRED TO FACILITATE AND COMPLETE THE WATER SYSTEM AND SANITARY SEWER SYSTEM INSTALLATION.
12. IF BACKFLOW PREVENTION IS LOCATED INSIDE THE PROPOSED BUILDING(S), THE CONTRACTOR SHALL REFER TO THE PLUMBING PLANS FOR MORE INFORMATION.
13. SANITARY SEWER PIPING SHALL BE SDR-35 (STANDARD DIRECT RATIO CLASSIFICATION) 35 PVC AND SHALL BE LAD WITH A MINIMUM OF 36" OF COVER FROM THE TOP OF THE PIPE TO THE FINISHED GRADE ELEVATION.
14. JOINTS SHALL BE INTEGRAL BELL SPIGOT WITH RUBBER GASKETS FORMED INTEGRAL TO BELLS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SIZE, LOCATION, AND INVERT ELEVATION OF WATER AND SANITARY SEWER SERVICE(S) FROM THE BUILDING(S).

CODED WATER NOTES

- (W1) CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" DIAMETER PVC WATER MAIN. MAINTAIN A MINIMUM OF 36" OF COVER.
(W2) CONTRACTOR SHALL FURNISH AND INSTALL 6" GATE VALVE WITH BOX AS SHOWN. (TYPICAL) (SEE DETAIL)
(W3) THE CITY APPROVED CONTRACTOR SHALL TAP EXISTING 8" WATER MAIN WITH A 8"x6" CITY APPROVED TAPPING SLEEVE AND VALVE WITH BOX BY OPEN CUT. TAP SHALL INCLUDE PAVEMENT REMOVAL AND REPAIR. (SEE DETAIL) AFTER VALVE, CONTRACTOR SHALL CONTINUE WATER SERVICE INSTALLATION AS SHOWN. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE PER THE APPROVED ENCROACHMENT PERMIT. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL MEASURES FOR TAP AND WATER LINE INSTALLATION PER CITY OF COLUMBIA REQUIREMENTS. TAP SHALL BE MADE AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER.
(W4) APPROXIMATE LOCATION OF WHERE WATER LINE (COMBINED FIRE AND DOMESTIC) ENTERS THE BUILDING. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATION. FIRE AND DOMESTIC SERVICES TO BE SPLIT AFTER ENTERING THE BUILDING AND BACKFLOW PREVENTION IS TO BE HOUSED INSIDE THE BUILDING. THE SCOPE OF THIS PLAN ENDS 5' FROM THE BUILDING AND DOES NOT INCLUDE THE PIPING ENTERING THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION INTO THE BUILDING.
(W5) APPROXIMATE LOCATION OF BACKFLOW PREVENTION (BFP) DEPARTMENT CONNECTION (FDC). INTERIOR PIPING TO BE INSTALLED AS REQUIRED TO FACILITATE LOCATION OF FDC. COORDINATE WITH PLUMBING AND/OR FIRE SPRINKLER PLANS FOR EXACT LOCATION. COORDINATE WITH FIRE MARSHALL FOR SIGNAGE INSTALLATION LOCATION AND REQUIREMENTS.
(W6) CONTRACTOR SHALL FURNISH AND INSTALL A METER VAULT MEETING CITY OF COLUMBIA SPECIFICATIONS AND SIZED TO HOUSE THE 6" COMBINED PROTECTUS METER. LID FOR VAULT SHALL BE HOLLADAY, BILCO, OR EQUAL AND CONFIGURED PER CITY OF COLUMBIA REQUIREMENTS. LID SHALL BE #20 LOADING WHEN LOCATED IN THE TRAVEL WAY. CONTRACTOR SHALL INSTALL 6" DUCTILE IRON PIPE BEGINNING AT THE TEE AND CONTINUING COMPLETELY THROUGH THE VAULT TO THE BUILDING AS SHOWN. COMBINED FIRE AND DOMESTIC SERVICE SHALL BE SPLIT AFTER ENTERING THE BUILDING AND BACKFLOW PREVENTION IS TO BE HOUSED INSIDE THE BUILDING. UPON SUCCESSFUL TESTING OF THE WATER MAIN AND PAYMENT OF THE METER FEE BY THE OWNER, A CITY APPROVED CONTRACTOR SHALL INSTALL THE METER AT THE CONTRACTOR'S EXPENSE.
(W7) PROPOSED WATER LINE CROSSES STORM DRAINAGE LINE AT THIS LOCATION. SEE STORM DRAINAGE PROFILES FOR CROSSING OF NEW STORM DRAINAGE. MAINTAIN 18" MINIMUM VERTICAL SEPARATION.
(W8) CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 45° MJ DI BEND WITH THRUST RESTRAINT MEETING CITY OF COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
(W9) CONTRACTOR SHALL FURNISH AND INSTALL 6" DIAMETER 90° MJ DI BEND WITH THRUST RESTRAINT MEETING CITY OF COLUMBIA AND NFPA 24 REQUIREMENTS AS APPLICABLE.
(W10) EXISTING FIRE HYDRANT.
(W11) MINIMIZE DAMAGE TO TREE AND ROOT SYSTEM TO THE MAXIMUM EXTENT PRACTICAL.
(W12) CONTRACTOR SHALL FURNISH AND INSTALL 1-1/2" DIAMETER LANDSCAPE IRRIGATION WATER SERVICE LINE. WITH METER BOX AND SHUT OFF VALVE (SQUARE NUT OPERATED), AND 1-1/2" DOUBLE CHECK VALVE ASSEMBLY, BOTH WITH APPROPRIATELY SIZED BOXES. METER TO BE SET BY CITY OF COLUMBIA AFTER APPLICATION AND PAYMENT OF ALL FEES BY THE OWNER. EXTENSION FROM DOUBLE CHECK VALVE IS NOT INCLUDED WITHIN THESE CONSTRUCTION DOCUMENTS.

CODED SEWER NOTES

- (S1) CONTRACTOR SHALL TAP NEW SANITARY SEWER LINE ONTO EXISTING GRAVITY SEWER MAIN AT THIS LOCATION. INVERT SHOWN IS APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND. COORDINATE WITH THE CITY OF COLUMBIA AS APPLICABLE. TAP SHALL BE PERFORMED BY A CITY APPROVED CONTRACTOR UPON APPLICATION AND PAYMENT OF ALL FEES BY OWNER.
(S2) CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" SDR 35 PVC SANITARY SEWER GRAVITY MAIN. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION.
(S3) CONTRACTOR SHALL FURNISH AND INSTALL NEW SANITARY SEWER CLEANOUT. USE TRAFFIC RATED MATERIALS IN PAVEMENT AREAS. (TYPICAL) (SEE DETAIL)
(S4) APPROXIMATE LOCATION WHERE SANITARY SEWER SERVICE LINE EXITS THE BUILDING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VARY THE LOCATION AND DEPTH OF THE SEWER SERVICE STUB OUT FROM THE PROPOSED BUILDING WITH BUILDING AND ARCHITECTURAL PLANS. ENSURE THE BUILDING STUB OUT ELEVATION AND LOCATION MATCH AND COORDINATE WITH THOSE SHOWN ON THESE PLANS OR NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.
(S5) CONTRACTOR SHALL FURNISH AND INSTALL 6" SDR 35 PVC SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE WITH CLEANOUTS AS SHOWN. MAINTAIN 3" MINIMUM COVER ALONG ENTIRE LENGTH OF SERVICE (TYPICAL) WHERE COVER IS LESS THAN 3', INSTALL DUCTILE IRON PIPE WITH PROTECTOR 401 LINING.
(S6) PROPOSED SANITARY SEWER LINE CROSSES STORM DRAINAGE LINE AT THIS LOCATION. SEE SANITARY SEWER PROFILES FOR MORE INFORMATION. MAINTAIN 18" MINIMUM VERTICAL SEPARATION. SEE SANITARY SEWER UTILITY CROSSING NOTES THIS SHEET FOR ADDITIONAL REQUIREMENTS.
(S7) CONTRACTOR SHALL OPEN CUT (SAWCUT AND REMOVE EXISTING PAVEMENT AND BASE) EXISTING ROADWAY WITHIN RIGHT-OF-WAY AS NECESSARY TO FACILITATE NEW CONNECTION TO EXISTING SANITARY SEWER SYSTEM AND INSTALLATION NEW SEWER LINE AND ASSOCIATED APPURTENANCES. PAVEMENT REPAIR SHALL BE PER PAVEMENT REPAIR DETAIL, AND SHALL BE ACCORDING TO CITY OF COLUMBIA STANDARDS AND THE APPROVED ENCROACHMENT PERMIT. THIS OPERATION SHALL OCCUR DURING PERIODS OF LOW TRAFFIC VOLUME. PROVIDE TRAFFIC CONTROL PER CITY OF COLUMBIA STANDARDS.
(S8) CONTRACTOR SHALL FURNISH AND INSTALL NEW 6" GREASE SANITARY SEWER SERVICE LINE. CONTRACTOR SHALL INSTALL TWO 1,500 GALLON GREASE INTERCEPTORS IN SERIES AS SHOWN WITH ALL ASSOCIATED CLEANOUTS, BENDS, FITTINGS, ETC. AS REQUIRED TO COMPLETE CONSTRUCTION. VENT CONNECTION REQUIRED. COORDINATE WITH AND CONNECT TO PLUMBER'S VENT STUB OUT. CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATION(S) OF THE INTERCEPTOR AND SERVICES LINES WITH BUILDING PLUMBING AND/OR ARCHITECTURAL PLANS.
(S9) APPROXIMATE LOCATION WHERE GREASE SANITARY SEWER SERVICE LINE EXITS THE BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VARY THE LOCATION AND DEPTH OF THE SEWER SERVICE STUB OUT FROM THE PROPOSED BUILDING WITH BUILDING PLUMBING AND/OR ARCHITECTURAL PLANS. ENSURE THE BUILDING STUB OUT ELEVATION AND LOCATION MATCH AND COORDINATE WITH THOSE SHOWN ON THESE PLANS OR NOTIFY THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND.

REFERENCES:

- 1. BOUNDARY PLAT & TOPOGRAPHIC MAP PREPARED FOR CHOICE HOTELS INTERNATIONAL, INC., BY COX AND DINKINS, INC., DATED MARCH 12, 2020
2. ALTANPS LAND TITLE SURVEY FOR 1000, 1010, & 1014 LADY ST; 1218 PARK ST, PREPARED BY BLEW & ASSOCIATES, P.A., DATED OCTOBER 31, 2019.

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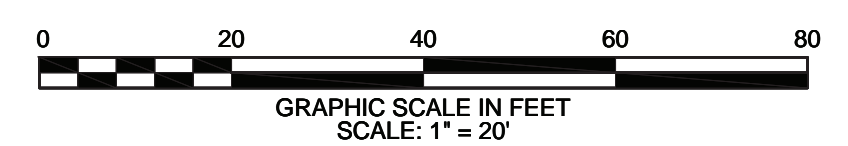
PROJECT: 2152-197530 CAD #2162 DATE: 5/26/2020

WATER AND SANITARY SEWER PLAN

C-6

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