

ORIGINAL  
STAMPED IN RED

**ORDINANCE NO.: 2021-009**

*Granting an encroachment to Gadsden Place, LLC for the use of the right of way areas of the 1200 block of Gadsden Street for the installation and maintenance of sidewalks, driveways, parking, curbing, landscaping and irrigation adjacent to its building at 1209 Gadsden Street and 1211 Gadsden Street, Richland County TMS#08912-07-06 and 08912-07-14*

WHEREAS, Gadsden Place, LLC (hereinafter "Grantee") desires to utilize a portion of the right of way area of the 1200 block of Gadsden Street adjacent to 1209 Gadsden Street and 1211 Gadsden Street, Richland County TMS#08912-07-06 and 08912-07-14, for the installation and maintenance of a concrete sidewalk approximately one hundred thirty-five (135') feet in length, and varying in width from five (5') feet and eight (8') feet; a driveway approximately twenty-three (23') feet in length and twenty (20') feet in width; five (5) on-street parking spaces each measuring approximately twenty (20') feet in length seven (7') in width; curbing, landscaping and irrigation, as shown on the attached drawing; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 2nd day of March, 2021, that Grantee is hereby granted the right to use the right of way areas of the right of way area of the 1200 block of Gadsden Street adjacent to 1209 Gadsden Street and 1211 Gadsden Street, Richland County TMS#08912-07-06 and 08912-07-14, for the installation and maintenance of a concrete sidewalk approximately one hundred thirty-five (135') feet in length, and varying in width from five (5') feet and eight (8') feet; a driveway approximately twenty-three (23') feet in length and twenty (20') feet in width; five (5) on-street parking spaces each measuring approximately twenty (20') feet in length seven (7') in width; curbing, landscaping and irrigation, as shown on the attached drawing.

PROVIDED FURTHER that all work shall comply with the requirements of The City of Columbia, South Carolina Department of Transportation (SCDOT) and Federal Emergency Management Agency (FEMA) now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by Grantee's construction shall be repaired to satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager; and,

PROVIDED further that in the event the City has to make repairs or maintain utility lines located within the encroachment area the City will replace any items removed for the utility repair or maintenance with like items to those removed; and,

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns; and,

PROVIDED FURTHER that a certificate of insurance be issued as evidence of general liability insurance with at least the minimum amount of \$600,000.00 for personal injury and property damage and naming the City as an insured, be provided to and filed annually with the City Clerk by Grantee, his successors and assigns, as required by Chapter 11, Licenses, Permits, Business Regulations, Article III, Contractors, Sec. 11-71, 1998 Code of Ordinances of the City of Columbia, South Carolina.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along

the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to a safety hazard.

2. With the exception of the parking spaces which shall be maintained by the Grantor, Grantee is responsible for maintenance of all of the items granted by this ordinance and assuring that all accessibility and ADA requirements are met and maintained.

3. Grantee is responsible for maintaining landscaping and improvements.

4. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.

5. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.

6. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.

7. All trees shall be protected and no large tree roots shall be removed from any existing trees.

BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

Assistant City Manager Gentry



\_\_\_\_\_  
Mayor

Approved by:



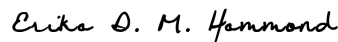
\_\_\_\_\_  
City Manager

Approved as to form:



\_\_\_\_\_  
City Attorney

ATTEST:



\_\_\_\_\_  
City Clerk

Introduced: 2/16/2021

Final Reading: 3/2/2021

**CITY COUNCIL  
ENCROACHMENT SUMMARY  
2021-009**



**1200 BLOCK OF GADSDEN STREET  
ADJACENT TO 1209 AND 1211 GADSDEN STREET  
SIDEWALKS, PARKING, LANDSCAPING, AND IRRIGATION**

<b>Subject Property:</b>	Right-of-way adjacent to 1209 Gadsden Street
<b>Council District:</b>	2
<b>Proposal:</b>	The applicant is requesting an encroachment for installation and maintenance of sidewalks, driveways, parking, curbing, landscaping and irrigation.
<b>Applicant:</b>	Gadsden Place, LLC
<b>Staff Recommendation:</b>	Approval.

<b>Detail:</b>	<p>The applicant is requesting an encroachment for installation and maintenance of a concrete sidewalk approximately one hundred thirty-five (135') feet in length varying five (5') and eight (8') feet in width; driveway approximately twenty-three (23') feet in length twenty (20') feet in width; five (5) on-street parking spaces measuring approximately twenty (20') feet in length seven (7') in width; curbing, landscaping and irrigation, as shown on the attached drawing; and,</p> <p>Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none"> <li>1. No item, including landscaping, shall be placed, planted or allowed to grow such that it creates a visual impediment to persons safely entering or exiting the driveway or to persons safely walking along the sidewalk. The City reserves the right to remove or cut any item located within the right of way which it deems to be a safety hazard.</li> <li>2. With the exception of the parking spaces which shall be maintained by the Grantor, Grantee is responsible for maintenance of all of the items granted by this ordinance and assuring that all accessibility and ADA requirements are met and maintained.</li> <li>3. Existing irrigation should not spray walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets.</li> <li>4. Obstructions of more than be four (4') feet in height are prohibited within the sight-visibility triangle.</li> <li>5. Forestry and Beautification shall be provided access to trees within the right of way for maintenance purposes.</li> <li>6. All trees shall be protected and no large tree roots shall be removed from any existing.</li> </ol>
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<b>CITY AGENCY COMMENTS FOR ENCROACHMENT</b>	
<b>Planning</b>	Recommend approval.
<b>Streets</b>	Recommend approval.
<b>Utilities and Engineering</b>	Recommend approval .
<b>Traffic Engineering</b>	Recommend approval.
<b>Forestry</b>	Recommend approval.

<b>Land Development</b>	Recommend approval.
<b>Fire</b>	Recommend approval.



**1209 Gadsden St.**  
**City of Columbia**



This map was prepared using the City GIS Viewer:

City of Columbia - GIS Division  
Monday, September 14, 2020

**Address Point**

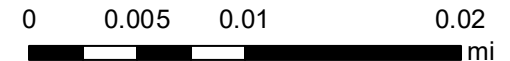
- Active
- Vacant
- Tax Parcel

**Street & Ownership**

- Interstate

- Highway
- City Maintained
- State Maintained
- - Private
- Others
- Red: Band\_1

- Green: Band\_2
- Blue: Band\_3



**CITY OF COLUMBIA  
GIS DATA DISCLAIMER:**

The City of Columbia GIS data represented on this map or plan is the product of the compilation of data produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.

**REQUEST FOR A PERMANENT COMMERCIAL ENCROACHMENT ORDINANCE  
(INCLUDING OUTDOOR DINING/LANDSCAPING/STUDENT HOUSING)**

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) Business signs are NOT permitted via an encroachment. Encroachments must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and are subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required. In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your insurance policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management, (803) 733-8306 or catimmons@columbiasc.net.

Please complete and submit this form along with photographs and drawings or site plan drawn to scale (including a 8-1/2 x11) to Johnathan Chambers by e-mail at jechambers@columbiasc.net; fax at 803-343-8779; or mail to Johnathan Chambers, Development Services, POB 147 Columbia, SC 29217, for preparation of an encroachment ordinance. Copies to City departments should be directed to the contact person for that department as shown below.

All work shall comply with the requirements of the City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager. Property owned, operated and maintained by SCDOT shall comply with SCDOT encroachment requirements.

Date: 8-31-2020 Property Owner: Gadsden Place, LLC  
 Applicant's Name if different from Property Owner: Gadsden Place, LLC  
 Contact Information: Telephone Number: 803-212-1032 Fax Number: \_\_\_\_\_  
 Mailing address: 1209 Lincoln Street, Columbia, SC 29201 E-mail address: sgarvin@garvindesigngroup.com  
 Business Name/Development Name for Encroachment: \_\_\_\_\_

**Encroachment type:**  Wall  Fence  Columns  Steps  Irrigation System  Landscaping  Driveway  Pavers  Sidewalk/Walkway  
 Planters  Awning  Underground Utilities  Other: Parking

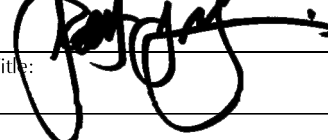
Dimensions (height/width/length): See Attached Plans  
 (i.e. 6'x42' wooden privacy fence;  
 two 12'x4'x3' concrete steps)

Construction material: See Attached Plans

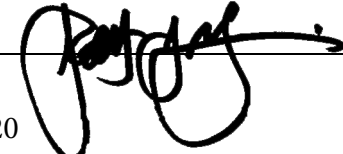
**OUTDOOR DINING:** The Fire Marshal's posted capacity allowed within the business at the time of enactment of the outdoor dining encroachment ordinance shall include the total number of patron seating approved for the outdoor dining encroachment area, if not already included in the posted capacity allowance, so that patrons relocating from inside to the outside or from outside to the inside do not cause the posted capacity to be exceeded.

Hours/days of operation for outdoor dining: \_\_\_\_\_  
 Posted Maximum Capacity Allowance (inside/outside combined): \_\_\_\_\_ No. of chairs outdoors: \_\_\_\_\_ No. of Tables Outdoors: \_\_\_\_\_  
 Do you serve:  Wine  Beer  Liquor SCDOR ABL No.: \_\_\_\_\_ If not, do you intend to apply for an ABL license? \_\_\_\_\_

I acknowledge that the adjoining property owners and businesses have been contacted and approve the addition of outdoor dining at this location to include the service of beer, wine and/or liquor if applicable during the business hours noted above, and that any changes made to the business hours, use of the encroachment area or items allowed within the encroachment area will require an amendment to the encroachment ordinance.

 (Owner)  
 Name/Title: \_\_\_\_\_  
 Date: 9/1/2020

I acknowledge that any changes made to the business, hours, use of the encroachment area, or items allowed within the encroachment area, to include obtaining a license to sell beer, wine and/or liquor will require an amendment to the encroachment ordinance.

 (Owner)  
 Name/Title: \_\_\_\_\_  
 Date: 9/1/2020

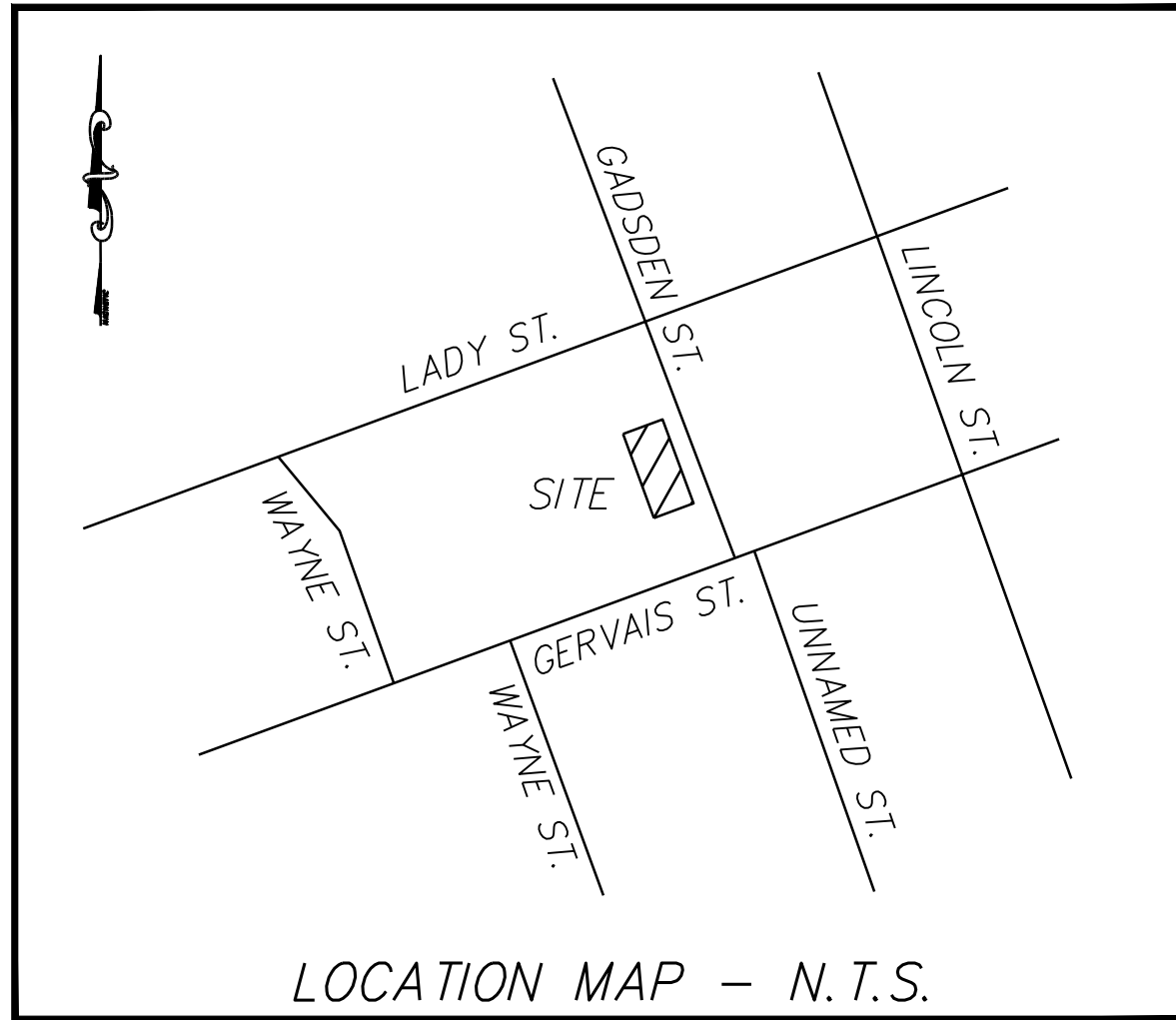
The proposed ordinance will be sent to the requesting party and City offices for review and approval. Johnathan Chambers will compile the recommendations and forward them to the City Clerk for scheduling before City Council. This process may take from 30-90 days.

CONTACT	DEPARTMENT	PHONE	FAX	E-MAIL
Johnathan Chambers	Development Services (Land Development)	803-545-3333	803-343-8779	jechambers@columbiasc.net
John Fellows	Development Services (Planning)	803-545-3222	803-733-8647	jsfellows@columbiasc.net
Brian Cook	Development Services (Zoning)	803-545-3332	803-733-8647	kbcook@columbiasc.net
Jerry Thompson	Development Services (Building Inspections)	803-545-3420	803-733-8699	jthompson@columbiasc.net
Fanessa Pinckney	Development Services (Permits)	803-545-3420	803-733-8699	fcpinckney@columbiasc.net
Amy Moore	Development Services (Historic Preservation)	803-545-3222	803-733-8647	aemoore@columbiasc.net
Robert Harkins	Development Services (Plans Review)	803-545-3420	803-733-8647	rlharkins@columbiasc.net
Denny Daniels	Utilities & Engineering (Construction Management)	803-545-3400	803-988-8199	jddaniels@columbiasc.net
Robert Anderson	Public Works (Administration)	803-545-3780	803-733-8648	randerson@columbiasc.net
Robert Sweat	Public Works (Street Division)	803-545-3790	803-545-3785	rgsweatt@columbiasc.net
David Brewer	Public Works (Traffic Engineering)	803-545-3850	803-733-8648	ddbrewer@columbiasc.net
Sara Hollar	Public Works (Forestry & Beautification)	803-545-3860	803-733-8648	sehollar@columbiasc.net
John Hooks	Public Works (Solid Waste)	803-545-3800	803-733-8648	jphooks@columbiasc.net
Chip Timmons	Risk Management	803-733-8306	803-733-8245	catimmons@columbiasc.net
David Koon	Fire Department	803-545-3701	803-401-8839	cidgkoon@columbiasc.net
John David Spade	Parking Services	803-545-3070	803-733-8523	spade@columbiasc.net

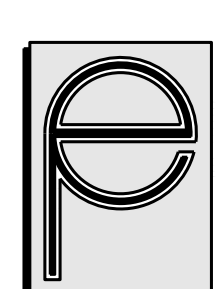
# 1209 GADSDEN PLACE UPLIFT

1209 GADSDEN PLACE  
COLUMBIA, SC 29201

AUGUST 07, 2020



SHEET NO.	TITLE
C1.0	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	EROSION CONTROL PLAN
C6.0	UTILITY PLAN
C7.0-7.3	MISCELLANEOUS DETAILS


**PREPARED BY**  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS  
 3229 SUNSET BLVD, SUITE A  
 WEST COLUMBIA, S.C. 29169  
 (803) 216-8777 (FAX) 216-8070

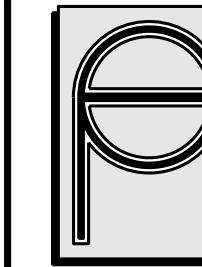
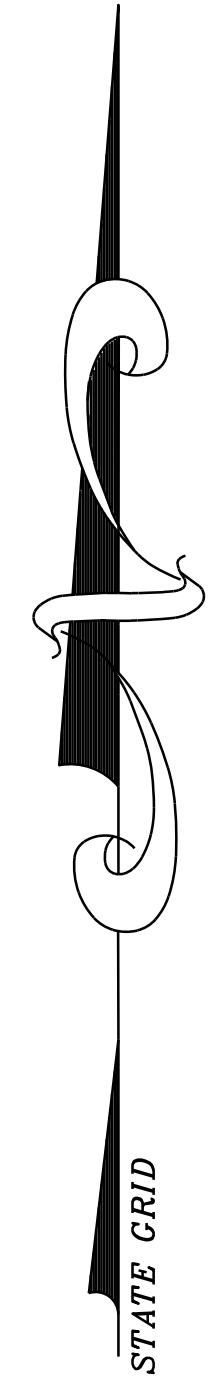
  
**GARVIN DESIGN GROUP**  
 1209 Lincoln Street P.O. Box 18 Columbia, SC 29202  
 803.212.1032 p / 803.212.1074 f

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF THE TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRT00000.







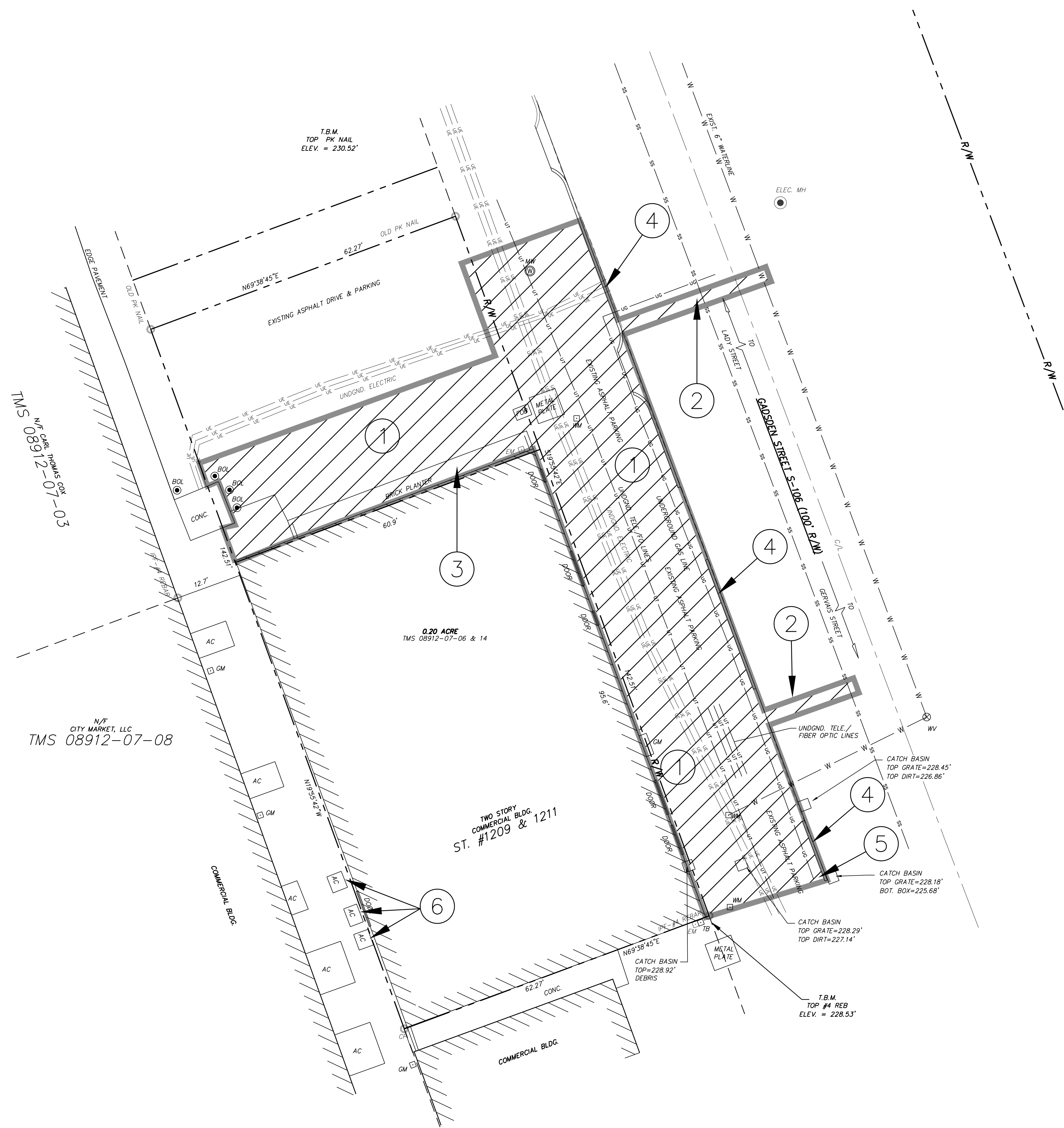


PREPARED BY  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS - SURVEYORS  
 108 WESTMARK BLVD.  
 COLUMBIA, S.C. 29210  
 (803) 216-8777 (FAX) 216-8070



LOCATION MAP - N.T.S.

NOTE: UNDERGROUND UTILITIES ARE  
 BASED ON PAINTED LOCATIONS

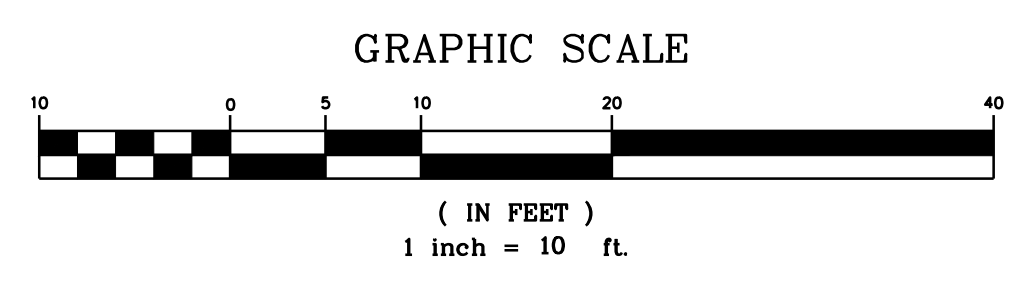


- DEMO LEGEND**
- ITEMS TO BE DEMOLISHED,  
 REMOVED OR REPLACED
- ① REMOVE EXIST. ASPHALT COMPLETE.(SAWCUT IN SCDDOT R/W)
  - ② REMOVE & REPLACE EXISTING ASPHALT COMPLETE.
  - ③ REMOVE EXISTING BLOCK WALLS/PLANTER.
  - ④ REMOVE EXISTING CURB AND GUTTER
  - ⑤ RELOCATE "SODA CITY" SIGN  
 (COORDINATE WITH CITY)
  - ⑥ REMOVE EXISTING AC UNITS IN ALLEY THAT  
 SERVICE THE BUILDING UPFIT. (COORDINATE WITH OWNER)

NOTE:  
 ANY EXISTING GAS, FIBER, CABLE, WATER OR SEWER LINES/SERVICES TO  
 BE ABANDONED SHOULD BE CAPPED PER THEIR AUTHORITIES  
 REGULATIONS.

- EXISTING LEGEND**
- FIBRE OPTIC — FO — FO —
  - WATER LINE — W — W —
  - OVERHEAD ELECTRIC — OHE — OHE —
  - PROPERTY LINE — — — —
  - FENCE — x — x —
  - SEWER LINE — SS — SS —

- CP = CALCULATED POINT
- IPS = IRON PIN SET
- IPF = IRON PIN FOUND
- TMS = TAX MAP SHEET
- R/W = RIGHT OF WAY
- N/F = NOW OR FORMERLY
- MW = MONITOR WELL
- WM = WATER METER
- CB = CATCH BASIN
- BOL = BOLLARD
- TB = TELEPHONE BOX
- CTV = CABLE TV
- GM = GAS METER
- GV = GAS VALVE
- EM = ELECTRIC METER
- FOB = FIBER OPTIC BOX



**FLOOD STATEMENT:**  
 I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP #450780C357 L, DATED DECEMBER 21, 2017, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT WITHIN A DESIGNATED FLOOD AREA.

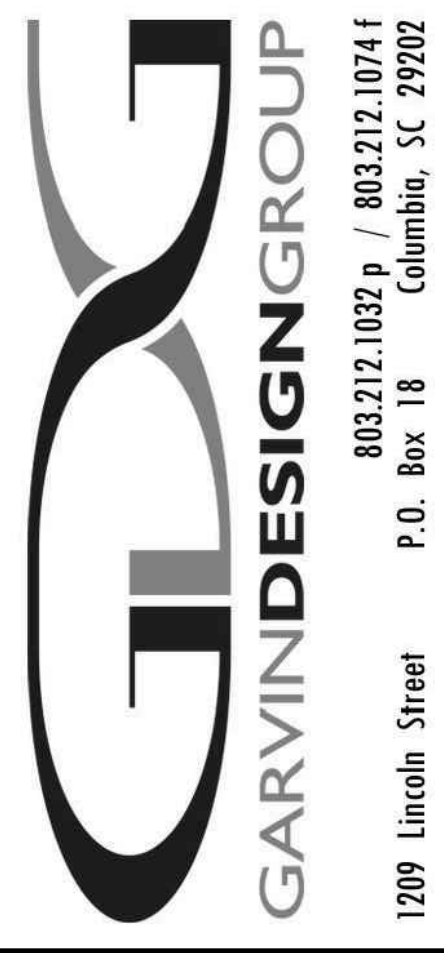
**REFERENCE:**  
 ALL BOUNDARY, TOPOGRAPHY AND EXIST. SITE FEATURES TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, EXIST. SITE FEATURES AND TOPOGRAPHIC INFORMATION ON THE SURVEY.

SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
 (803) 216-8777 (FAX) 216-8070  
 EMAIL: dparr@powereng.net



GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE (803) 212-1032

POWER ENGINEERING CO.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
 PHONE (803) 216-8777  
 dparr@powereng.net

SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

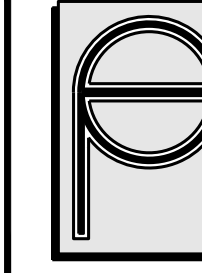
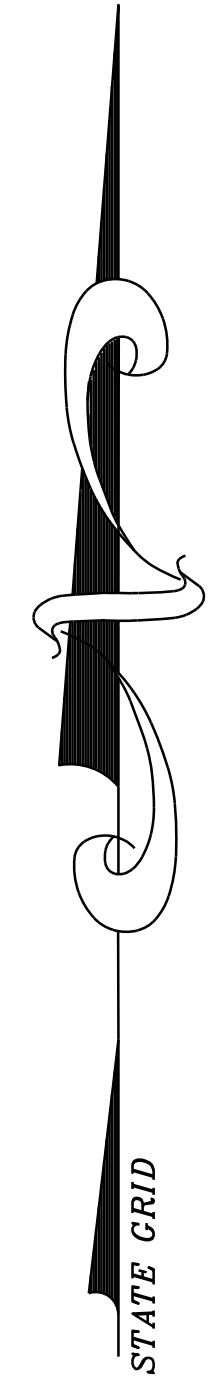
PROJECT TITLE  
**1209 GADSDEN PLACE UPLIFT**  
 1209 GADSDEN PLACE  
 COLUMBIA, SC 29201

NO.	REVISIONS	DATE

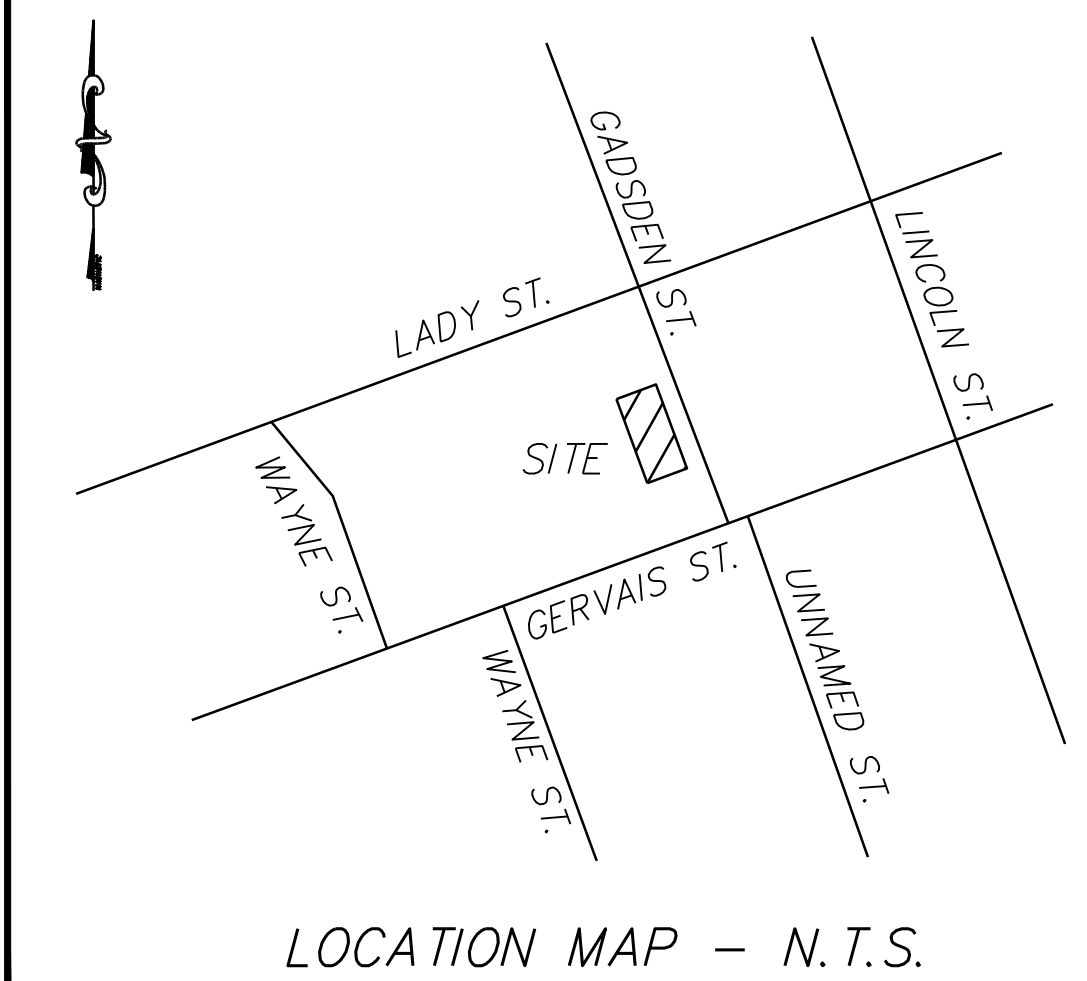
DRAWN BY:	JTS
CHECKED BY:	JTS

PROJECT NO.	0558.119	DRAWING NO.	C2.0
DATE	06-05-2020		

DRAWING TITLE  
**DEMOLITION SITE PLAN**



PREPARED BY  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS - SURVEYORS  
 108 WESTMARK BLVD.  
 COLUMBIA, S.C. 29210  
 (803) 216-8777 (FAX) 216-8070



**GARVINDESIGNGROUP**  
 803.212.1074 f  
 1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE (803) 212-1032

POWER ENGINEERING CO.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
 PHONE (803) 216-8777  
 dpar@powereng.net

SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

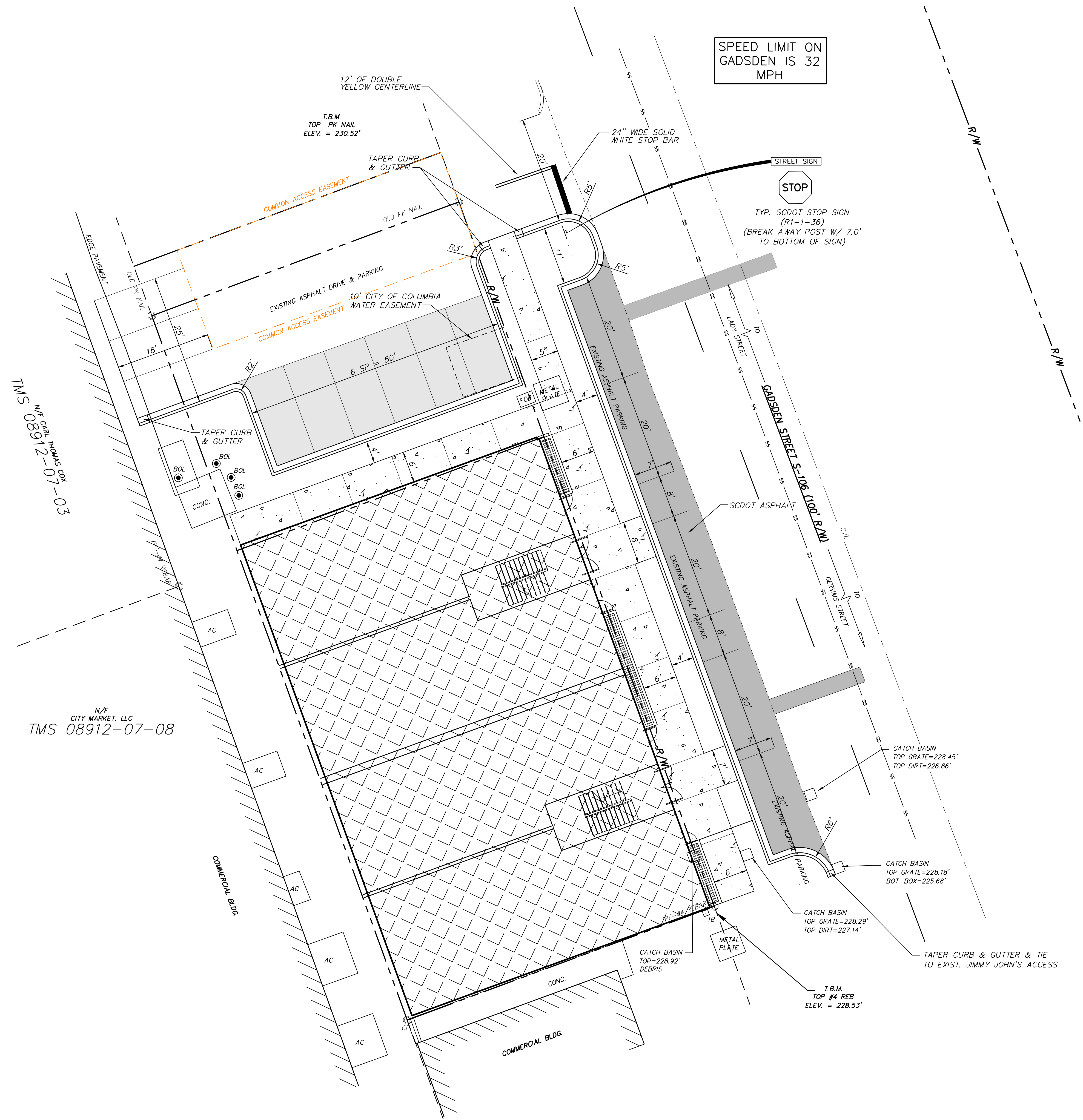
**SITE DATA**  
**M-1 ZONING**  
**TMS #R08912-07-14 AND R08912-07-06**

**8 OFF STREET PARKING SPACES**  
**5 ON STREET PARKING SPACES**

NOTE: CURB ALONG GADSDEN STREET IS 3" TALL CURB.

NOTE: ALL CONCRETE FORMS FOR CURB AND SIDEWALK SHALL BE INSPECTED BY PEC PRIOR TO CONCRETE PLACEMENT.

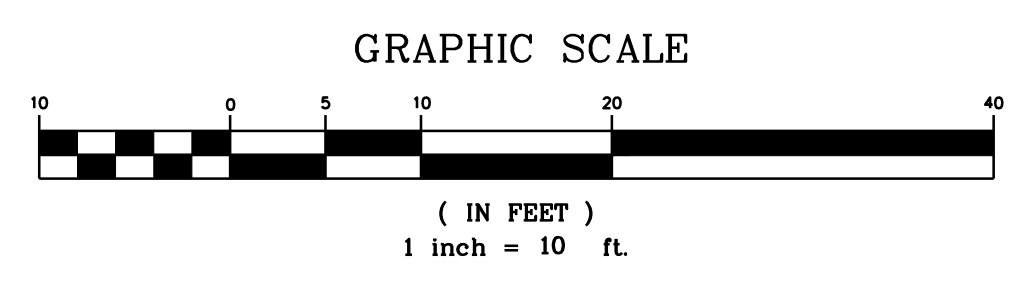
CONTRACTOR TO VERIFY DIMENSIONS WITH ARCH. PLANS PRIOR TO STAKING CONCRETE OR CURB. NOTIFY ARCHITECT/ENGINEER IN THE EVENT OF A CONFLICT.



**EXISTING LEGEND**

FIBRE OPTIC	FO	FO
WATER LINE	W	W
OVERHEAD ELECTRIC	OHE	OHE
PROPERTY LINE	X	X
FENCE	X	X
SEWER LINE	SS	SS

- CP = CALCULATED POINT
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- EM = ELECTRIC METER
- FOB = FIBER OPTIC BOX



**FLOOD STATEMENT:**  
 I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP #450780C0357 L, DATED DECEMBER 21, 2017, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT WITHIN A DESIGNATED FLOOD AREA.

**REFERENCE:**  
 ALL BOUNDARY, TOPOGRAPHY AND EXIST. SITE FEATURES TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, EXIST. SITE FEATURES AND TOPOGRAPHIC INFORMATION ON THE SURVEY.

SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

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 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
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OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
 (803) 216-8777 (FAX) 216-8070  
 EMAIL: dpar@powereng.net

**PROPOSED LEGEND**

PROPERTY LINE	---
PROP. CURB AND GUTTER	---
PROP. GRAVEL	---
PROP. ASPHALT	---
PROP. SCODOT ASPHALT	---
PROP. WATER EASEMENT	---
BUILDING	---
PROP. CONCRETE	---
PROP. LIGHT WELL	---

**SCDOT NOTES:**

- 1) SPEED LIMIT ALONG GADSDEN ROAD = 35 MPH. FRONTAGE FOR THIS PARCEL = 142'. SIGHT DISTANCE IS ADEQUATE IN BOTH DIRECTIONS.
- 2) UPON SUBSTANTIAL PROJECT COMPLETION, CONTRACTOR TO CLEAR EXISTING CULVERTS/PIPES, CATCH BASINS, AND DITCHES ALONG FRONTAGE AND DOWNSTREAM AS NECESSARY TO ACHIEVE POSITIVE DRAINAGE.
- 3) ALL MARKINGS WITHIN SCODOT ROW SHALL BE APPROVED PERMANENT PAVEMENT MARKINGS PER SECTIONS 625, 626, OR 627 WITHIN THE SCODOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR UTILIZING ALL APPLICABLE AND CURRENT SCODOT STANDARD DRAWINGS INCLUDING, BUT NOT LIMITED TO, THE DRAWINGS INCLUDED OR REFERENCED WITHIN THESE PLANS AND THE APPROVED PERMIT PACKAGE.



PROJECT TITLE  
**1209 GADSDEN PLACE UPLIFT**

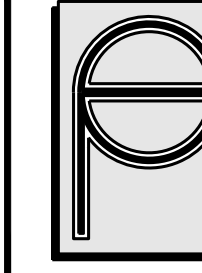
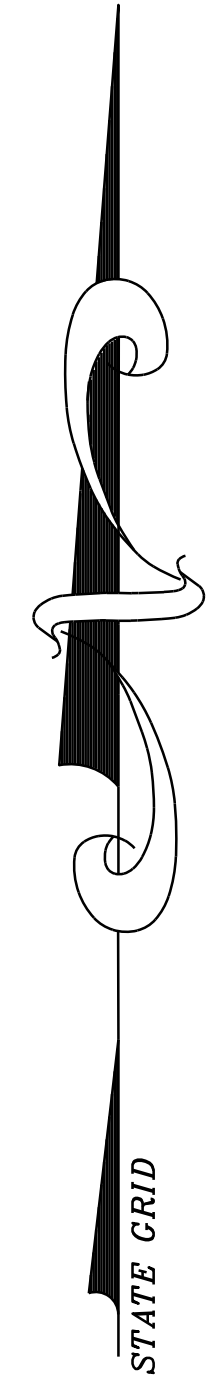
REVISIONS	DATE
1	REMOVED BACK ALLEY 8/31/20

DRAWN BY: JTS  
 CHECKED BY: JTS

DRAWING TITLE  
**SITE PLAN**

PROJECT NO. 0558.119  
 DATE 06-05-2020

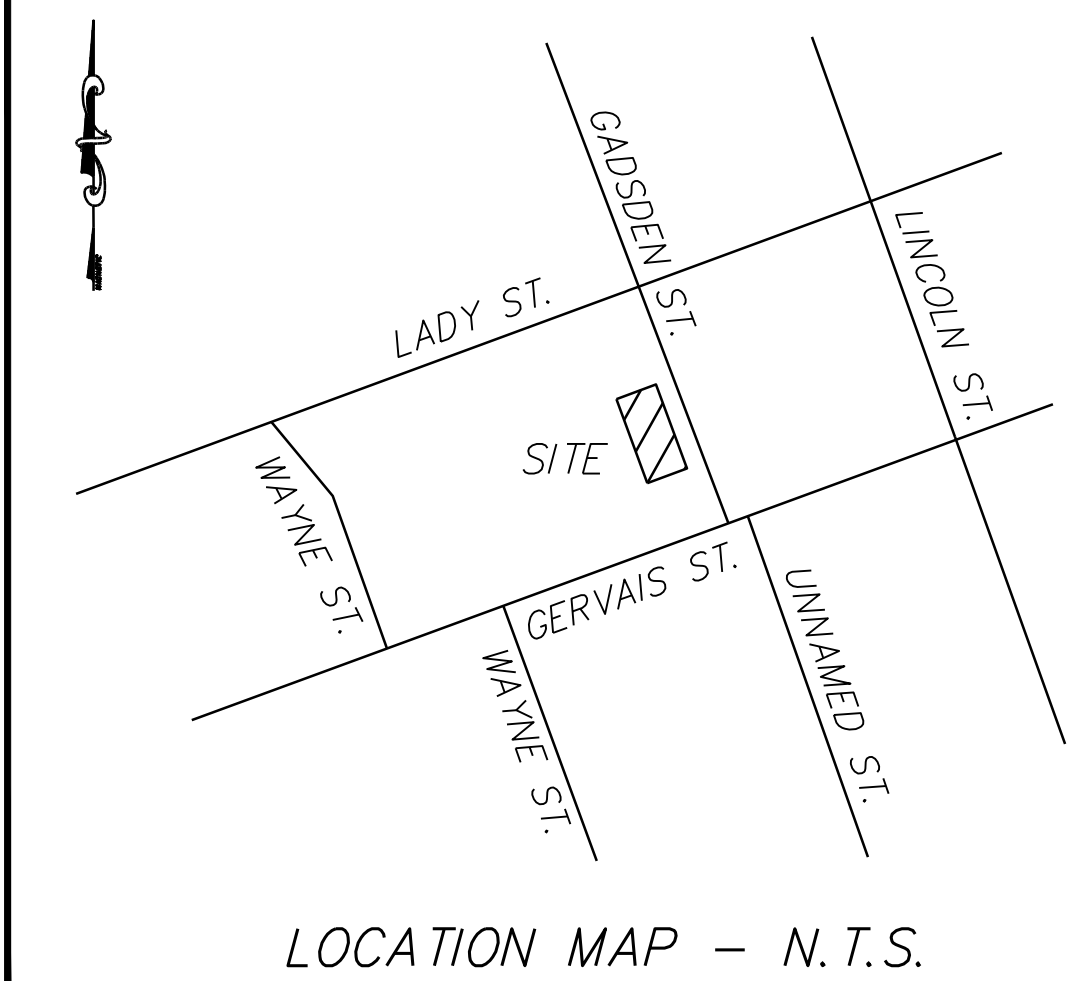
DRAWING NO.  
**C3.0**



PREPARED BY  
**POWER ENGINEERING COMPANY, INC.**  
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 108 WESTBARK BLVD.  
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 (803) 216-8777 (FAX) 216-8070



803.212.1074 f  
 Columbia, SC 29202  
 P.O. Box 18  
 1209 Lincoln Street



GADSDEN PLACE, LLC  
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POWER ENGINEERING CO.  
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 eparr@powereng.net

SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

**1209 GADSDEN PLACE UPLIFT**

1209 GADSDEN PLACE  
 COLUMBIA, SC 29201

PROJECT TITLE

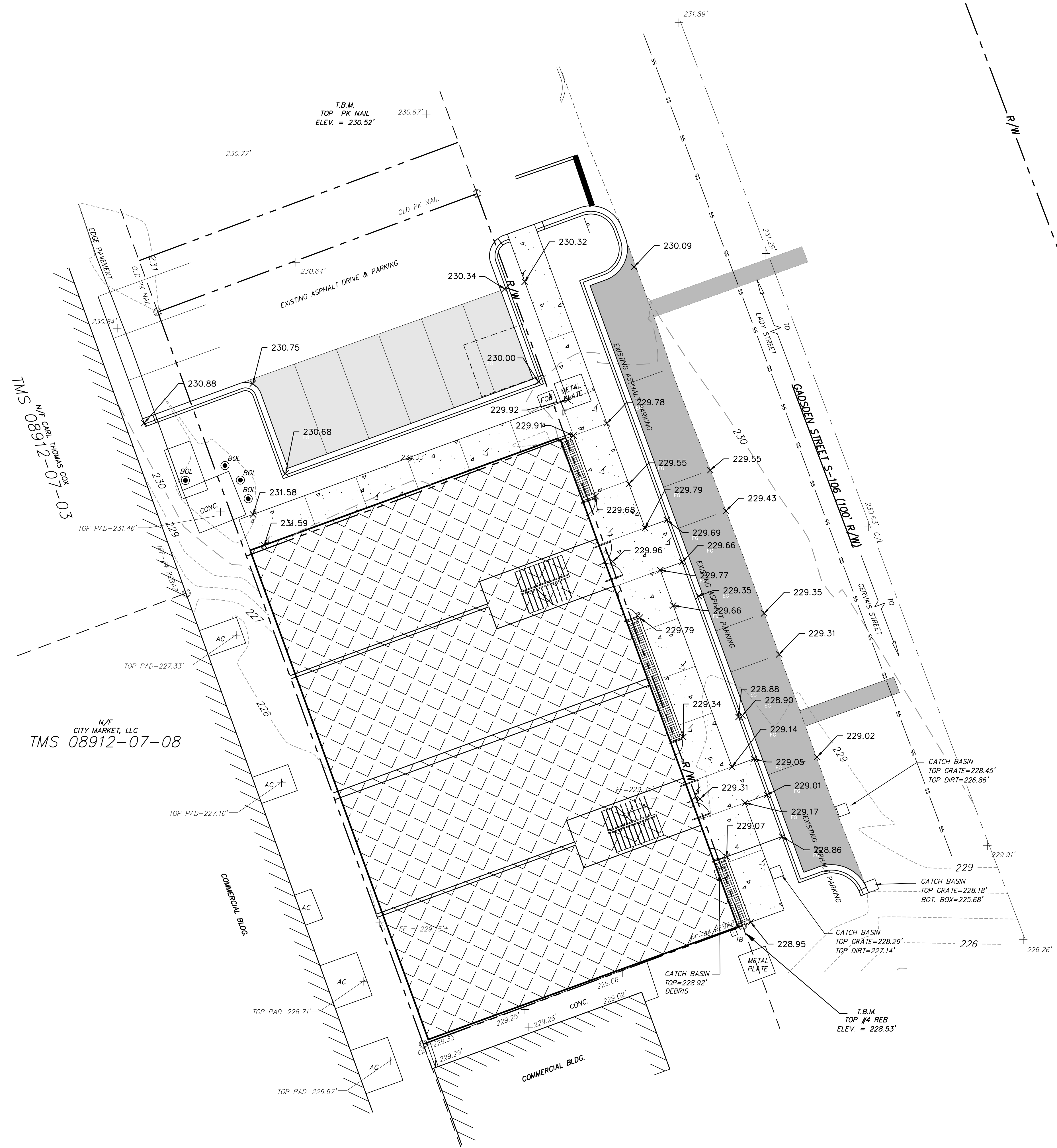
NO.	REVISIONS	DATE
1	REMOVED BACK ALLEY	8/31/20

DRAWN BY: JTS  
 CHECKED BY: JTS

THIS DRAWING AND THE DESIGN THEREON ARE THE PROPERTY OF POWER ENGINEERING COMPANY, INC. NO PART OF THIS DRAWING OR DESIGN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF POWER ENGINEERING COMPANY, INC.

**GRADING PLAN**

PROJECT NO.	DATE	DRAWING NO.
0558.119	06-05-2020	<b>C4.0</b>



- NOTES:**
- ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.
  - CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATION AND AVAILABILITY OF ALL UTILITIES AFFECTING THE PROJECT ON AND OFF THE SITE, 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTRACT P.L.S. AT 1-800-922-0882 FOR UNDERGROUND UTILITIES LOCATION.
  - THE MATERIALS AND CONSTRUCTION OF ALL STREETS AND DRAINAGE FACILITIES IN THIS PROJECT SHALL BE GOVERNED BY THE CITY OF COLUMBIA SPECIFICATIONS AND THE SCDOT STANDARD SPECIFICATIONS, LATEST EDITION.
  - NO CONSTRUCTION ALLOWED UNTIL CONSTRUCTION PERMITS ARE RECEIVED FROM CITY OF COLUMBIA.
  - NOTIFY CITY OF COLUMBIA 72 HOURS BEFORE COMMENCING CONSTRUCTION.
  - ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.
  - THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCIES OR OMISSIONS DISCOVERED ON THE PLANS OR AT THE SITE. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY THAT ALL LOCATIONS ARE CORRECT PRIOR TO COMMENCING CONSTRUCTION.
  - SEE THE CONSTRUCTION SEQUENCE ON THE DETAIL SHEET AND SEE THE SOIL EROSION AND SEDIMENTATION CONTROL NOTES ON THE SEDIMENT AND EROSION CONTROL PLAN.
  - ALL EARTHWORK SHALL BE DONE IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND UNDER THE SUPERVISION OF A SOILS CONSULTANT.
  - ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT.
  - THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR THE LOCATION AND INSTALLATION OF UTILITY CONDUIT.
  - ALL FILL AREAS SHALL BE COMPACTED TO 98% STANDARD PROCTOR.
  - ALL ASPHALT SHALL BE SAW CUT.
  - ALL CONCRETE FORMS FOR SIDEWALK AND CURBING SHALL BE INSPECTED BY ENGINEER PRIOR TO CONCRETE PLACEMENT.
  - GRAVEL TO BE PLACED IN ALLEY BETWEEN CONCRETE AND MECHANICAL UNITS AREA TO BE UNDER CUT 1.0' -1.5' AND BACKFILL WITH 57 STONE. GRAVEL TO BE 3" LOWER THAN ALL SURROUNDING MECHANICAL UNITS AND CONCRETE.
  - LIGHT WELLS TO BE UNDERCUT 1.5'-2.0' AND BACKFILLED WITH 57 STONE.
  - LIGHT WELLS TO BE COVERED WITH STRUCTURAL GLASS. WELLS ALONG GADSDEN STREET TO BE FLUSH WITH SIDE WALK AND WELLS ALONG ALLEY ARE TO HAVE 3" UP ABOVE SURROUNDING CONCRETE/GRAVEL.
  - ADJUST CATCH BASIN RIMS ALONG GADSDEN AS NEEDED TO PROMOTE POSITIVE DRAINAGE ALONG GADSDEN STREET.
  - CONTRACTOR ADJUST METAL PLAT ALONG GADSDEN AS NEEDED TO COORDINATE WITH NEW SIDEWALK.

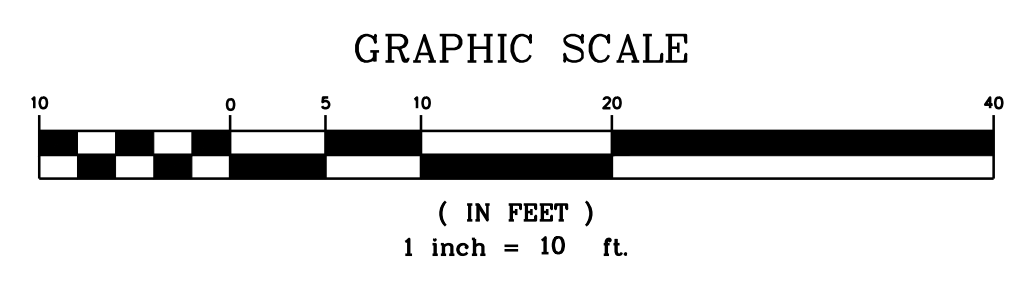
SEE DETAIL SHEETS FOR EROSION CONTROL NOTES

**PROPOSED LEGEND**

- PROPERTY LINE
- PROP. CURB AND GUTTER
- PROP. GRAVEL
- PROP. ASPHALT
- PROP. SCDOT ASPHALT
- PROP. WATER EASEMENT
- BUILDING
- PROP. CONCRETE
- PROP. LIGHT WELL
- PROP. SPOT ELEVATION

- EXISTING LEGEND**
- FIBRE OPTIC
  - WATER LINE
  - OVERHEAD ELECTRIC
  - PROPERTY LINE
  - FENCE
  - SEWER LINE

- CP = CALCULATED POINT
- IPS = IRON PIN SET
- IPF = IRON PIN FOUND
- TMS = TAX MAP SHEET
- R/W = RIGHT OF WAY
- N/F = NOW OR FORMERLY
- MW = MONITOR WELL
- WM = WATER METER
- CB = CATCH BASIN
- BOL = BOLLARD
- TB = TELEPHONE BOX
- CTV = CABLE TV
- GM = GAS METER
- GV = GAS VALVE
- EM = ELECTRIC METER
- FB = FIBER OPTIC BOX



**FLOOD STATEMENT:**  
 I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP #450780337 L, DATED DECEMBER 21, 2017, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT WITHIN A DESIGNATED FLOOD AREA.

**REFERENCE:**  
 ALL BOUNDARY, TOPOGRAPHY AND EXIST. SITE FEATURES TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, EXIST. SITE FEATURES AND TOPOGRAPHIC INFORMATION ON THE SURVEY.

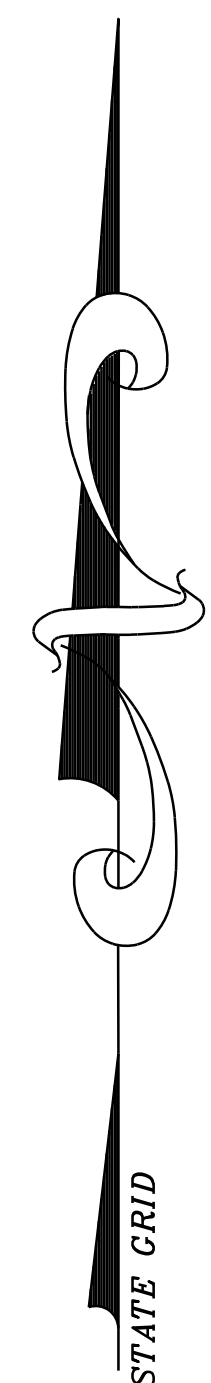
SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

OWNER: GADSDEN PLACE, LLC  
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 PHONE: (803) 212-1032

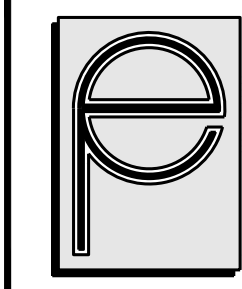
ENGINEER: POWER ENGINEERING CO., INC.  
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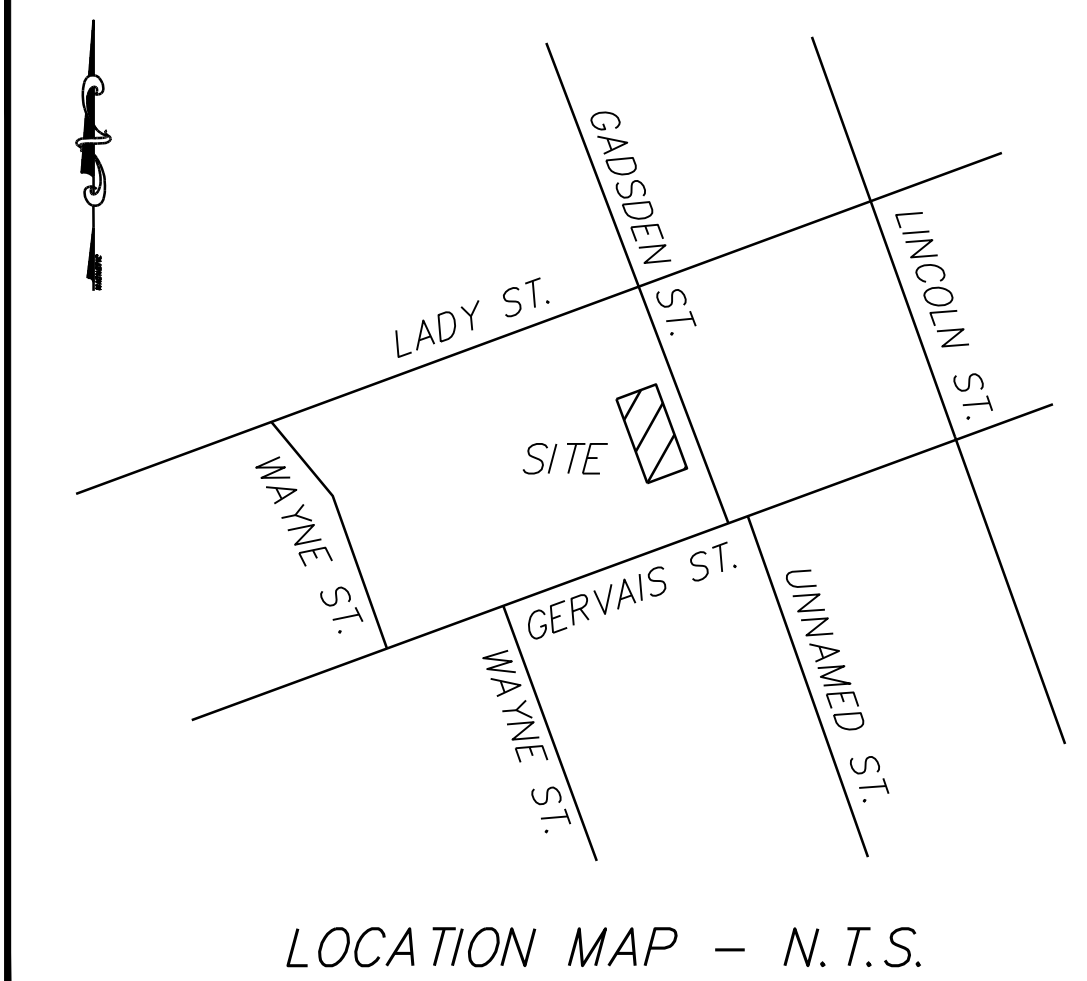


### EROSION CONTROL PHASE CONSTRUCTION SEQUENCE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS FROM CITY OF COLUMBIA AND SCDOT.
2. CONTACT THE UTILITY COMPANIES TO HAVE EXISTING UTILITIES (WATER, ELECTRICITY, PHONE, GAS, ETC.) LOCATED.
3. SET UP AN ON-SITE PRE-CONSTRUCTION MEETING WITH ENGINEER PRIOR TO CONSTRUCTION TO DISCUSS EROSION CONTROL MEASURES.
4. EXISTING DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE. INSTALL Bmps AS NECESSARY.
5. INSTALL SILT FENCE AND INLET PROTECTION AS SHOWN ON THE PLANS.
6. CLEAN OUT EXISTING STORM DRAINAGE OF SEDIMENT AND DEBRIS.
7. DEMO SITE WHICH IS TO BE COORDINATED WITH OWNER.
8. ROUGH GRADE PARKING AND SIDEWALK AREAS.
9. INSTALL NEW PARKING AREA, SIDEWALK, CURB, PLANTERS, UTILITIES AND ALL SUPPORTING INFRASTRUCTURE.
10. COMPLETE FINAL GRADING AND LANDSCAPE SITE PER APPROVED LANDSCAPE PLAN.
11. AFTER THE SITE IS STABILIZED SCHEDULE AN INSPECTION WITH THE ENGINEER FOR APPROVAL OF THE SITE. ONCE APPROVAL IS OBTAINED REMOVE ALL EROSION CONTROL MEASURES.



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**GARVIN DESIGN GROUP**  
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SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

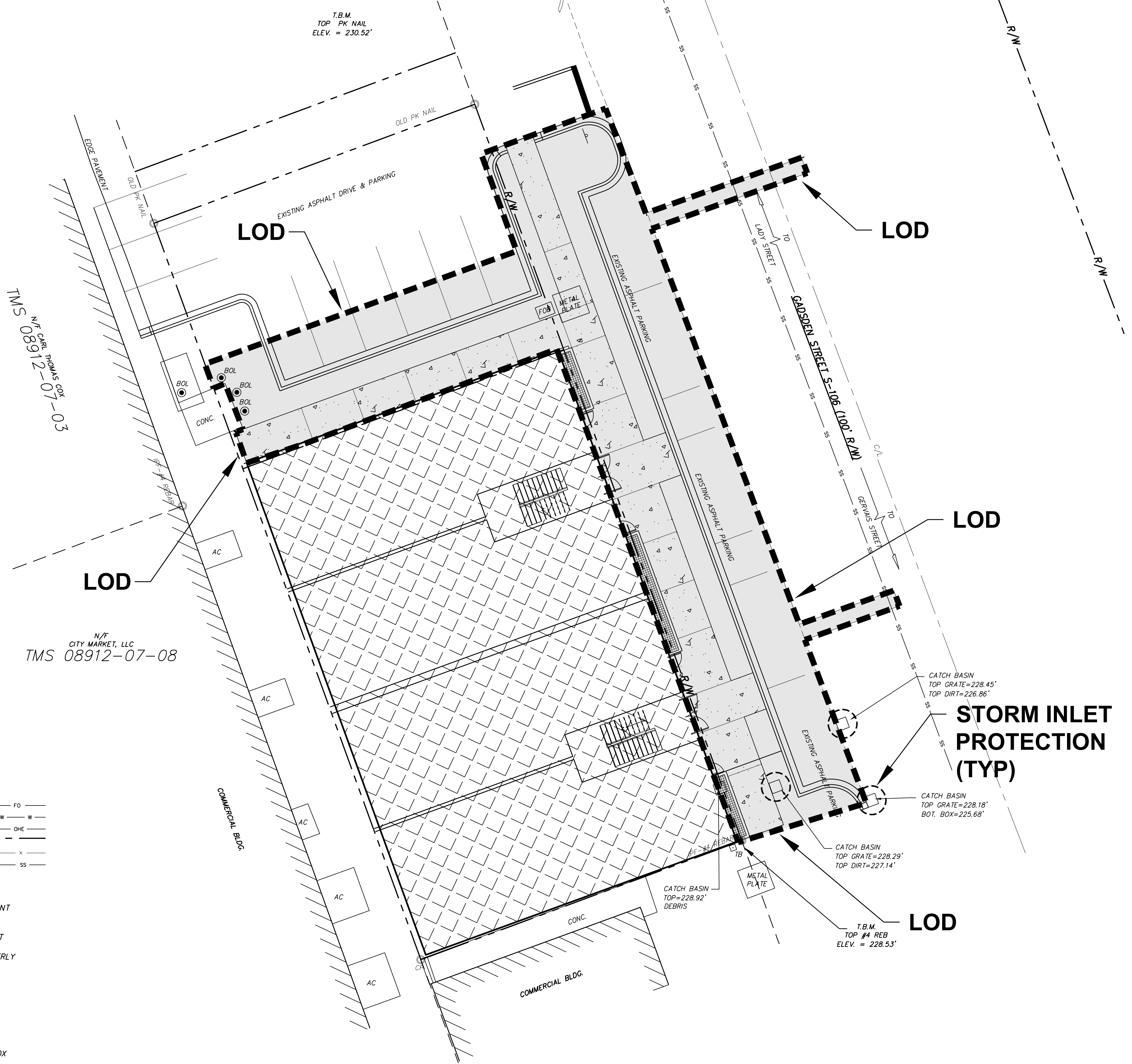
**1209 GADSDEN PLACE UPLIFT**  
 PROJECT TITLE  
 1209 GADSDEN PLACE  
 COLUMBIA, SC 29201

NO.	REVISIONS	DATE

DRAWN BY: JTS  
 CHECKED BY: JTS

DATE: 05-05-2020

**EROSION CONTROL PLAN**  
 DRAWING TITLE  
 PROJECT NO. 0558.10  
 DATE 05-05-2020  
 DRAWING NO. **C5.0**



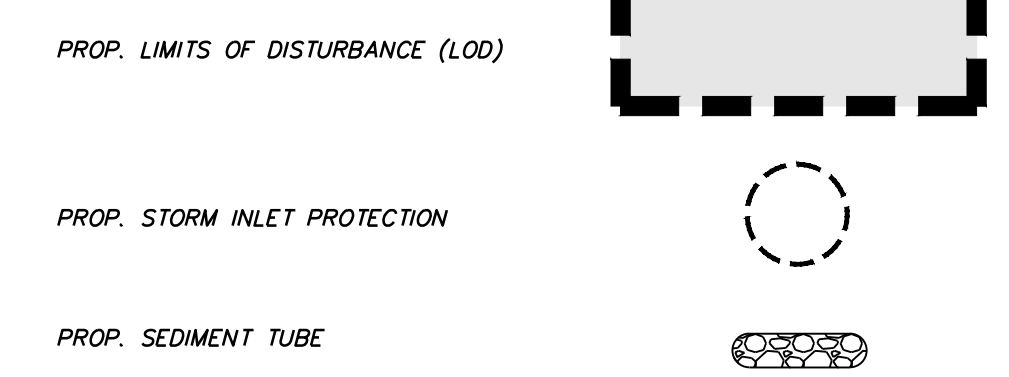
### EROSION CONTROL NOTES:

1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE TEMPORARILY CEASED, AND EARTH ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PERMANENTLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR PROVIDE AN INDIVIDUAL PLAN MEETING SECTION R.72-507 OF THE STORMWATER MANAGEMENT AND SEDIMENT REDUCTION ACT.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN NOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3:1 V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM Dewatering OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP'S (SEDIMENT BASIN, FILTER BAGS, ETC.)
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
  - A) WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
  - B) WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
  - C) FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
  - D) SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT, SCDOT/DNR AND/OR SCS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMP'S MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE RICHLAND COUNTY HAS APPROVED OTHERWISE.
20. ADDITIONAL MEASURES MAY BE REQUIRED BY A REPRESENTATIVE OF RICHLAND COUNTY OR SCDHEC.
21. STOCK PILE AREAS MAY BE SHIFTED DEPENDING ON SITE CONDITIONS.
22. STABILIZE ALL SWALES WITHIN 7 DAYS OF CONSTRUCTION.
23. PLACEMENT OF ADDITIONAL BMP STRUCTURES SHALL BE FIELD DETERMINED BY THE PROJECT ENGINEER OR INSPECTOR.
24. USE SILT FENCE J HOOKS (SEE DETAIL) WITH SILT FENCE ON SLOPES AS NECESSARY TO PREVENT EROSION.

### STORM INLET PROTECTION (TYP)

AREA OF DISTURBANCE = 5,246 SF (0.12 AC)

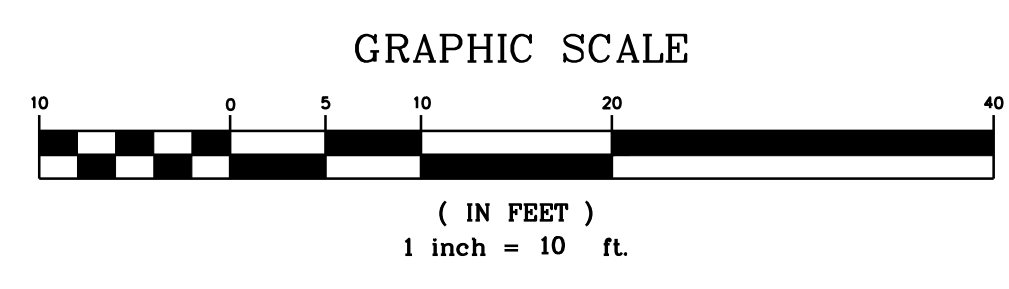
### PROPOSED LEGEND



**EXISTING LEGEND**

FIBRE OPTIC	FO	FO
WATER LINE	W	W
OVERHEAD ELECTRIC	OHE	OHE
PROPERTY LINE		
FENCE	X	X
SEWER LINE	SS	SS

- CP = CALCULATED POINT
- IPS = IRON PIN SET
- IPF = IRON PIN FOUND
- TMS = TAX MAP SHEET
- R/W = RIGHT OF WAY
- N/F = NOW OR FORMERLY
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- TB = TELEPHONE BOX
- CTV = CABLE TV
- GM = GAS METER
- GV = GAS VALVE
- EM = ELECTRIC METER
- FOB = FIBER OPTIC BOX



**FLOOD STATEMENT:**  
 I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP #45078C0357 L, DATED DECEMBER 21, 2017, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT WITHIN A DESIGNATED FLOOD AREA.

**REFERENCE:**  
 ALL BOUNDARY, TOPOGRAPHY AND EXIST. SITE FEATURES TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, EXIST. SITE FEATURES AND TOPOGRAPHIC INFORMATION ON THE SURVEY.

SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

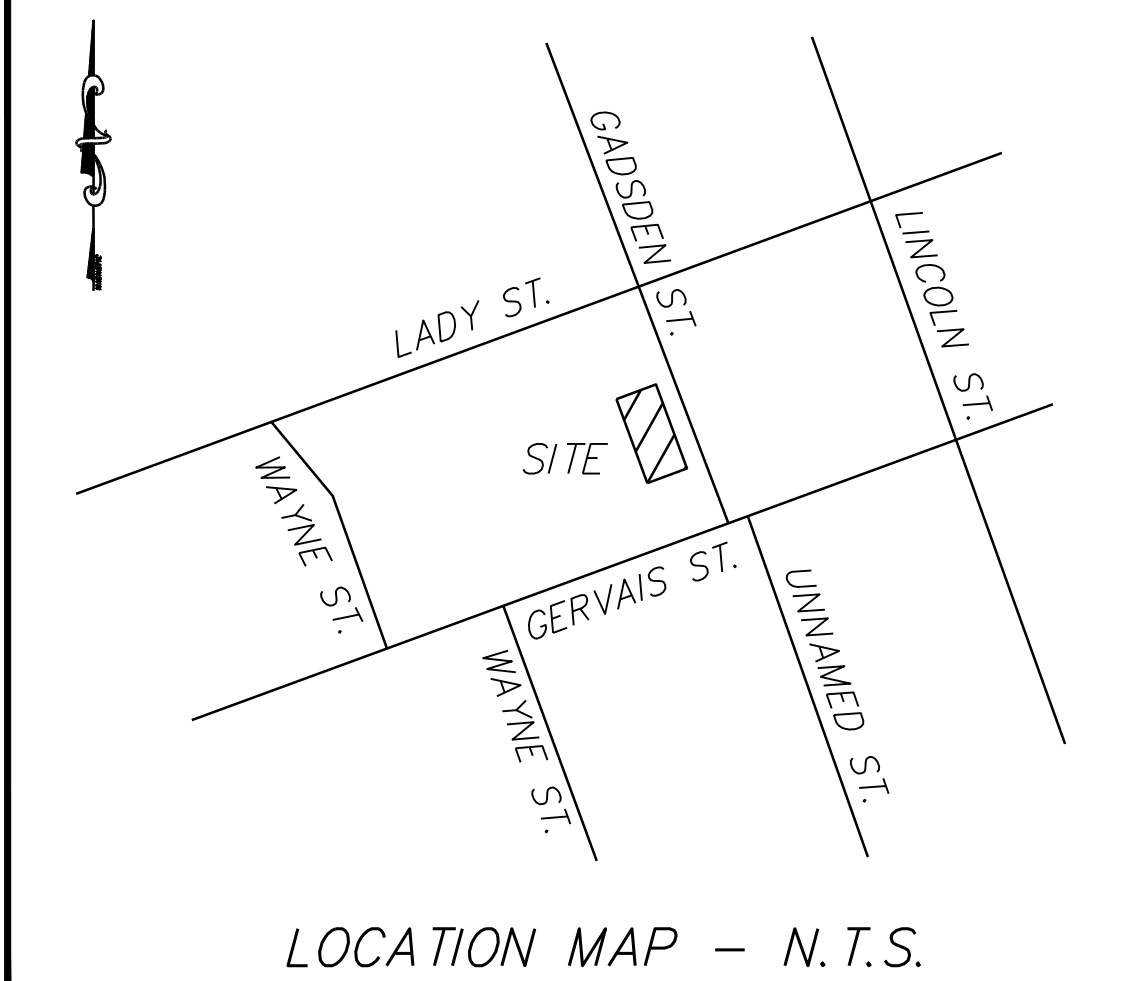
OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
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 EMAIL: dparr@powereng.net





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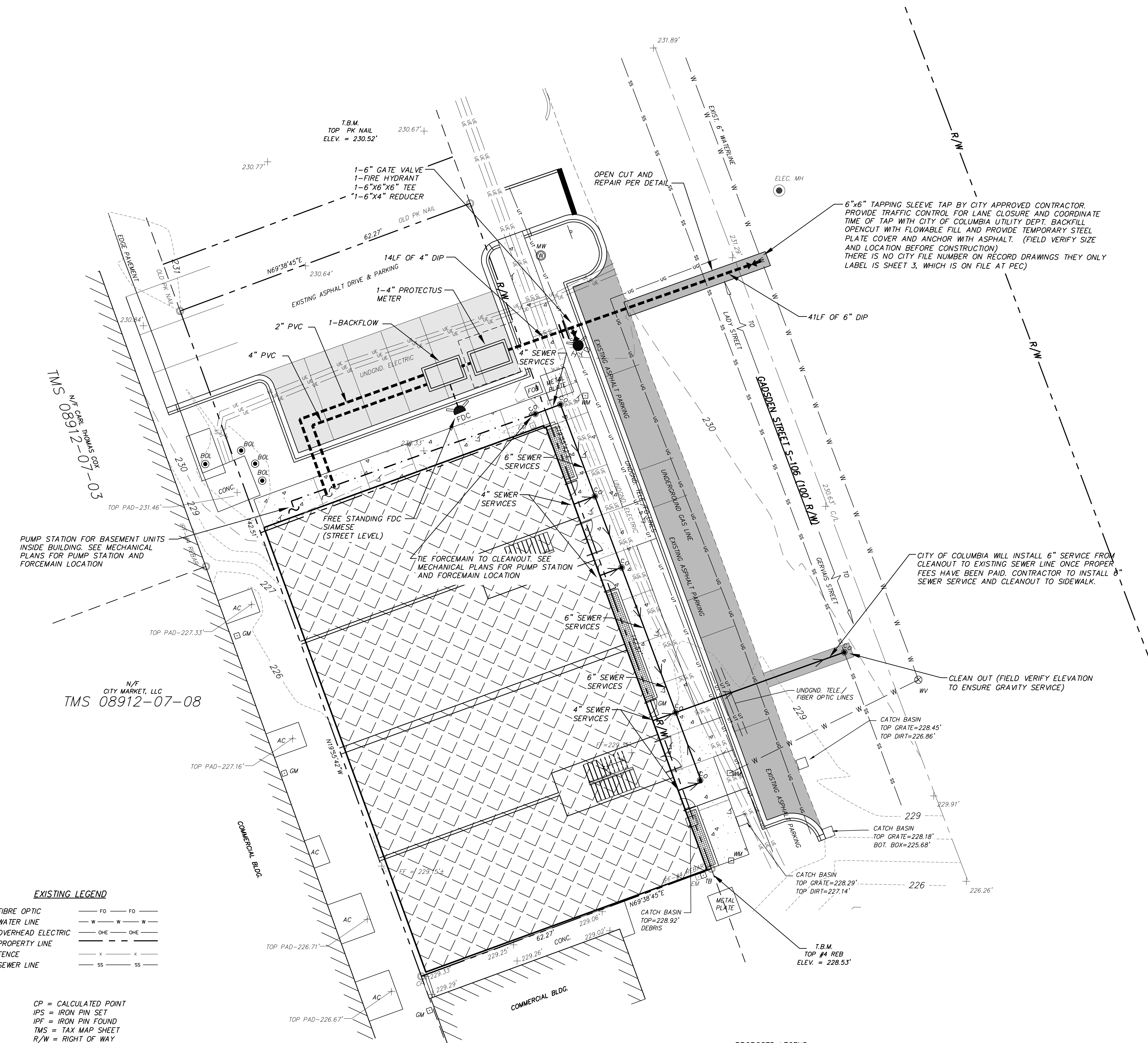
SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

PROJECT TITLE  
**1209 GADSDEN PLACE UPLIFT**  
 1209 GADSDEN PLACE  
 COLUMBIA, SC 29201

NO.	REVISIONS	DATE
1	PER CITY COMMENTS	8.31.20

DRAWN BY: JTS  
 CHECKED BY: JTS  
 DATE: 8.31.20

DRAWING TITLE  
**UTILITY PLAN**  
 PROJECT NO. 0588.10  
 DATE 06-05-2020  
 DRAWING NO. **C6.0**



- WATER NOTES:**
- 1) ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.
  - 2) CONTRACTOR MUST VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT P.U.L.S. AT 1-800-922-0983 FOR UNDERGROUND UTILITIES LOCATION.
  - 3) ALL TAP AND IMPACT FEES SHALL BE THE RESPONSIBILITY OF THE OWNER. CONTRACTOR TO COORDINATE PAYMENT BY OWNER FOR ALL TAPPING OF EXISTING WATERLINES WITH THE CITY OF COLUMBIA UTILITY DEPARTMENT.
  - 4) THE MATERIALS AND CONSTRUCTION OF ALL WATER SYSTEM FACILITIES IN THIS PROJECT SHALL BE GOVERNED BY THE CITY OF COLUMBIA STANDARD SPECIFICATIONS.
  - 5) NO CONSTRUCTION ALLOWED UNTIL CONSTRUCTION PERMITS RECEIVED FROM CITY OF COLUMBIA.
  - 6) NO USAGE ALLOWED UNTIL OPERATION PERMITS RECEIVED FROM CITY OF COLUMBIA.
  - 7) CONTRACTOR TO PROVIDE THRUST BLOCKING OR MECHANICAL RESTRAINT ON WATER LINES AT ANY BEND, TEES, OR CHANGE IN DIRECTION IN THE LINES WHETHER SHOWN OR OMITTED ON THE PLANS.
  - 8) NOTIFY THE CITY OF COLUMBIA 48 HOURS BEFORE COMMENCING CONSTRUCTION AND HOLD. PRE-CONSTRUCTION CONFERENCE AT SITE PRIOR TO BEGINNING.
  - 9) PROVIDE A TEMPORARY STONE SPLASH PAD AT ALL FIRE HYDRANTS OR OTHER POINTS OF DISCHARGE DURING TESTING OF WATER DISTRIBUTION SYSTEM.
  - 10) WHERE PVC OR POLYETHYLENE PIPE IS USED IN WATER MAIN CONSTRUCTION, A CONTINUOUS #12 GAUGE BLUE INSULATED COPPER TRACER WIRE, APPROVED BY THE MANUFACTURER FOR DIRECT BURIAL, SHALL BE INSTALLED IN THE TRENCH A MINIMUM 6" ABOVE THE TOP OF THE WATER LINE. THE TRACER WIRE SHALL TERMINATE AT EACH VALVE OR METER AND TRACKING PIPE AND PREVENT INTERFERENCE OF OPERATING THE VALVE OR METER.
  - 11) PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING ALL UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY CONSTRUCTION.
  - 12) WATER MAINS THAT ARE CONSTRUCTED ADJACENT TO ROADS MUST BE INSTALLED A MINIMUM OF 36 INCHES BELOW THE ELEVATION OF THE EDGE OF ROADWAY. A MINIMUM OF 36 INCHES OF COVER MUST BE PROVIDED OVER THE MAINS.
  - 13) ALL WATERMAIN 4" TO 8" TO BE CLASS 350 DUCTILE IRON PIPE PER CITY SPECS. (UP TO CITY METER)
  - 14) CONTRACTOR TO FURNISH AND INSTALL BACKFLOW PREVENTION DEVICES AS APPROVED BY SCDHEC. CONTRACTOR TO PROVIDE COPIES OF IN-PLACE TEST RESULTS OF BACKFLOW PREVENTION DEVICES. TEST SHALL BE PERFORMED BY A CERTIFIED TESTER AND RESULTS REPORTED IN ACCORDANCE WITH SCDHEC STANDARD FORMAT.
  - 15) ALL FIRE LINE WATER MAIN CONSTRUCTION TO BE IN ACCORDANCE WITH NFPA 24, 2010 EDITION.
  - 16) ALL VALVES AND FITTINGS SHALL BE DUCTILE IRON, MECHANICAL JOINT WITH PRESSURE RATINGS OF 350 PSI.
  - 17) ANY PAVEMENT OR HARD SURFACE REMOVAL NECESSARY FOR UTILITY CONSTRUCTION TO BE REPAIRED OR REPLACED WHETHER SHOWN OR OMITTED ON THE PLANS.
  - 18) CONTRACTOR TO STERILIZE AND PRESSURE TEST ALL WATER MAINS ACCORDING TO SCDHEC REQUIREMENTS AND CITY OF COLUMBIA STANDARDS.
  - 19) CONTRACTOR TO PROVIDE RECORD DRAWINGS AFTER UTILITY CONSTRUCTION REFLECTING LOCATIONS OF ALL STRUCTURES AND ANY INSTALLED DEVICES, ETC. UTILITIES TO BE SURVEYED BY A REGISTERED LAND SURVEYOR AND A DIGITAL FILE PROVIDED TO THE ENGINEER FOR PREPARATION OF ASBUILTS AND FINAL INSPECTIONS WITH SCDHEC. REDLINED UTILITY DRAWINGS WILL NOT BE ACCEPTABLE.
  - 20) ON ALL FIRE LINE CONSTRUCTION, CONTRACTOR TO COMPLETE NFPA 24 CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING TO ENGINEER AFTER TESTING AND INSTALLATION.
  - 21) ELECTRONIC SUPERVISION TO BE PROVIDED FOR ALL VALVES CONTROLLING THE WATER SUPPLY FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM.
  - 22) ALL PIPING FOR THE UNDERGROUND FIRE SYSTEM TO BE DIP PER JASON SHAW WITH CITY OF COLUMBIA.
  - 23) COVER OVER ALL FIRE LINES SHOULD COMPLY WITH 2013 NFPA 24 10.4
  - 24) JOINT RESTRAINTS ON ALL FIRE LINES SHOULD COMPLY WITH 2013 NFPA 24 10.8
  - 25) CONTRACTOR TO SUBMIT BACKFLOW PREVENTER CUT SHEET TO POWER ENGINEERING PRIOR TO INSTALLATION. BACKFLOW PREVENTER SHOULD COMPLY WITH 2013 NFPA 24 5.4.2

- SEWER NOTES:**
1. ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.
  2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT P.U.L.S. AT 1-800-922-0983 FOR UNDERGROUND UTILITIES LOCATION.
  3. ALL SEWER TAPS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL TAPPING OF SEWER LINES WITH THE CITY OF COLUMBIA.
  4. THE MATERIALS AND CONSTRUCTION OF ALL SEWER SYSTEM FACILITIES IN THIS PROJECT SHALL BE GOVERNED BY THE CITY OF COLUMBIA SPECIFICATIONS.
  5. NO CONSTRUCTION ALLOWED UNTIL CONSTRUCTION PERMITS ARE RECEIVED FROM THE CITY OF COLUMBIA.
  6. NO USAGE ALLOWED UNTIL OPERATION APPROVAL IS RECEIVED FROM THE CITY OF COLUMBIA.
  7. NOTIFY CITY OF COLUMBIA 72 HOURS BEFORE COMMENCING CONSTRUCTION. CASE SHALL THE SEEDING TAKE LONGER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
  8. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.
  9. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCIES OR OMISSIONS DISCOVERED ON THE PLANS OR AT THE SITE. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY THAT ALL LOCATIONS ARE CORRECT PRIOR TO COMMENCING CONSTRUCTION.
  10. CONTRACTOR TO PROVIDE THE ENGINEER A SET OF MARKED UP CONSTRUCTION DRAWINGS INDICATING THE ASBUILT LOCATION OF THE SEWER SYSTEM.
  11. SEWER LINES AND MAINS SHALL CONFORM TO STATE REGULATION R.61-67.
  12. ALL SEWER SERVICES SHALL BE 6" SDR-26 PVC AND SHALL BE LAID ON A 1.0% GRADE FROM THE SEWER MAIN.
  13. CLEAR AND GRUB AS NECESSARY FOR INSTALLATION OF THE SEWER SERVICES.
  14. CONTRACTOR TO PROVIDE GRAVITY SERVICE TO ALL PORTIONS OF THE CONSTRUCTION PROJECT. IF AN ISSUE IS DISCOVERED PEC IS TO BE NOTIFIED IMMEDIATELY.

**EXISTING LEGEND**

FIBRE OPTIC — FO — FO —  
 WATER LINE — W — W — W —  
 OVERHEAD ELECTRIC — OHE — OHE —  
 PROPERTY LINE — — — — —  
 FENCE — x — x — x —  
 SEWER LINE — SS — SS —

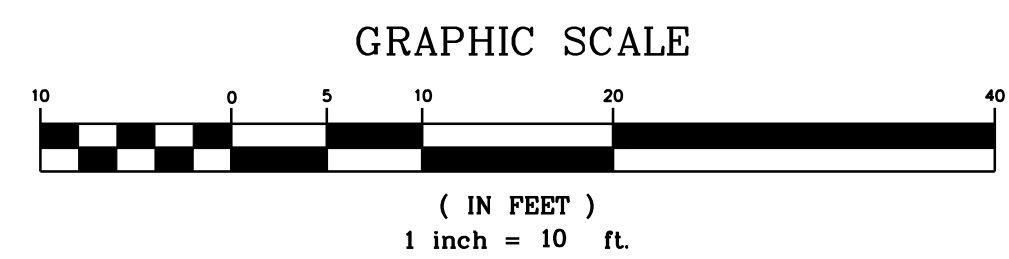
CP = CALCULATED POINT  
 IPS = IRON PIN SET  
 IPF = IRON PIN FOUND  
 TMS = TAX MAP SHEET  
 R/W = RIGHT OF WAY  
 N/F = NOW OR FORMERLY  
 MW = MONITOR WELL  
 WM = WATER METER  
 CB = CATCH BASIN  
 BOL = BOLLARD  
 TB = TELEPHONE BOX  
 CTV = CABLE TV  
 GM = GAS METER  
 GV = GAS VALVE  
 EM = ELECTRIC METER  
 FOB = FIBER OPTIC BOX

**PROPOSED LEGEND**

PROPERTY LINE — — — — —  
 PROP. CURB AND GUTTER — — — — —  
 PROP. GRAVEL — — — — —  
 PROP. ASPHALT — — — — —  
 PROP. SCOTD ASPHALT — — — — —  
 PROP. WATER EASEMENT — — — — —  
 BUILDING — — — — —  
 PROP. CONCRETE — — — — —  
 PROP. LIGHT WELL — — — — —  
 PROP. SEWER SERVICE — — — — —  
 PROP. CLEANOUT — — — — —  
 PROP. WATER SERVICE — — — — —  
 PROP. FIRE HYDRANT — — — — —  
 PROP. GATE VALVE — — — — —  
 PROP. FDC WALL MOUNT — — — — —

**FLOOD STATEMENT:**  
 I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP #507900357 L, DATED DECEMBER 21, 2017, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS NOT WITHIN A DESIGNATED FLOOD AREA.

**REFERENCE:**  
 ALL BOUNDARY, TOPOGRAPHY AND EXIST SITE FEATURES TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, EXIST. SITE FEATURES AND TOPOGRAPHIC INFORMATION ON THE SURVEY.



SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
 3229 SUNSET BLVD. SUITE A  
 WEST COLUMBIA, S.C. 29169  
 (803) 216-8777 (FAX) 216-8070  
 EMAIL: dparr@powereng.net



NO.	REVISIONS	DATE

DRAWN BY: JTS CHECKED BY: JTS DATE: 05/28/10 PROJECT NO: 05-05-2020	SOUTH CAROLINA PROFESSIONAL ENGINEERING BOARD POWER ENGINEERING COMPANY, INC. No. C00195 (803) 545-3300 08-31-2020 DAVID B. PARR	DRAWING NO. <b>C7.0</b>
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**SEEDING SCHEDULE FOR AREAS NOT SODDED**

TEMPORARY AND PERMANENT GRASS PLANTINGS BY SEASONS WITH THE REQUIRED AMOUNTS OF FERTILIZER AND LIME STONE PER 1,000 SQUARE FEET.

FROM MAY 1 - AUGUST 31		FROM SEPTEMBER 1 - APRIL 30	
1 POUND BROWNTOP MILLET	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS
2 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA
25 POUNDS 10-10-10 FERTILIZER	1.5 POUNDS UNHULLED BERMUDA	1.5 POUNDS UNHULLED BERMUDA	1.5 POUNDS UNHULLED BERMUDA
75 POUNDS LIMESTONE	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER
OR	OR	OR	OR
1 POUND BROWNTOP MILLET	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS
*2 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA
25 POUNDS 10-10-10 FERTILIZER	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA
75 POUNDS LIMESTONE	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER
OR	OR	OR	OR
1 POUND BROWNTOP MILLET	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS
*3 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA
25 POUNDS 10-10-10 FERTILIZER	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA
75 POUNDS LIMESTONE	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER
OR	OR	OR	OR
1 POUND BROWNTOP MILLET	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS	2 POUNDS ANNUAL RYE GRASS
*3 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA	0.5 POUNDS HULLED BERMUDA
25 POUNDS 10-10-10 FERTILIZER	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA	1 POUND UNHULLED BERMUDA
75 POUNDS LIMESTONE	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER	25 POUNDS 10-10-10 FERTILIZER

DEEP SANDY SOILS  
 1 POUND BROWNTOP MILLET  
 \*3 POUNDS HULLED BERMUDA  
 25 POUNDS 10-10-10 FERTILIZER  
 75 POUNDS LIMESTONE

DEEP SANDY SOILS  
 1 POUND UNHULLED BERMUDA  
 2 POUNDS RYE GRASS OR 2 BGA GRAIN RYE  
 \*3 POUNDS BAHIA GRASS  
 25 POUNDS 10-10-10 FERTILIZER  
 75 POUNDS LIMESTONE

ALL VEGETATED SWALES OR DITCHES WITH SIDE SLOPES (CUT OR FILL) STEEPER THAN 2:1 ADD 4 TO 6 OZS./1,000 SQUARE FEET OF KEEPING LOVE GRASS SEED TO ANY OF THE ABOVE MIXTURES. SWALES AND DITCH BOTTOMS SHOULD BE DOUBLE SEEDING. ALSO ALL SIDES SLOPES STEEPER THAN 2:1 SHALL BE HYDROSEEDING.

\* BAHIA GRASS IS A GOOD EROSION CONTROL GRASS, HOWEVER IT PRODUCES MANY SEED HEADS WHICH SCATTER TO OTHER AREAS. BAHIA GRASS IS HARD TO MOW, HOWEVER IT DOES NOT REQUIRE THE CARE THAT OTHER GRASSES REQUIRE. AROUND OFFICE BUILDINGS, SWALES AND DITCH DIVISIONS USE 4 TO 6 OZS. CENTPEDE GRASS IN LIEU OF BAHIA GRASS OR IN COMBINATION WITH BERMUDA GRASS.

\*\* FOR SOILS WITH CLAY SUBSOILS: DO NOT PLANT IN SANDY SOILS.  
 (NOTE: GROWTH OF RYE GRASS IN EARLY SPRING MUST BE SUPPRESSED TO PREVENT RYE FROM CHOKING OUT PERMANENT GRASS SUCH AS BERMUDA, BAHIA OR FESCUE.)

**LAND GRADING FOR MINIMIZING EROSION**

- ONLY DISTURB, CLEAR, OR GRADE AREAS NECESSARY FOR CONSTRUCTION. FLAG OR OTHERWISE DELINEATE AREAS NOT TO BE DISTURBED. EXCLUDE VEHICLES AND CONSTRUCTION EQUIPMENT FROM THESE AREAS TO PRESERVE NATURAL VEGETATION.
- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND ACCORDING TO THE STANDARDS AND SPECIFICATIONS FOR THE APPROPRIATE EROSION CONTROL PRACTICES.
- IF TOPSOIL IS REQUIRED FOR THE ESTABLISHMENT OF VEGETATION, IT SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING AND PROTECTED FROM EROSION DURING THE INTERIM.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL, AND STRIPPED OF TOPSOIL.
- AREAS TO RECEIVE TOPSOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 INCHES (76 MM) PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED BY BUILDING STANDARDS TO REDUCE EROSION, SURFACE SETTLEMENT, SUBSIDENCE AND OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- THE OUTER FACE OF THE FILL SLOPE SHOULD BE ALLOWED TO STAY LOOSE, NOT ROLLED, COMPACTED, OR BLENDED SMOOTH. A BULLDOZER MAY RUN UP AND DOWN THE FILL SLOPE SO THE DOZER TREADS (CLEAT TRACKS) CREATE GROOVES PERPENDICULAR TO THE SLOPE. IF THE SOIL IS NOT TOO MOIST, EXCESSIVE COMPACTION WILL NOT OCCUR.
- ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES (0.2 M) PER LIFT.
- USE SLOPE BREAKS, SUCH AS DIVERSIONS, BENCHES, OR CONTOUR FURROWS AS APPROPRIATE, TO REDUCE THE LENGTH OF CUT-AND-FILL SLOPES TO LIMIT SHEET AND RILL EROSION AND PREVENT GULLY EROSION.
- THE FINISHED CUT-AND-FILL SLOPES, WHICH ARE TO BE VEGETATED WITH GRASS AND LEGUMES, SHOULD NOT BE STEEPER THAN 2:1.
- SLOPES TO BE MAINTAINED BY TRACTOR OR OTHER EQUIPMENT SHOULD NOT BE STEEPER THAN 3:1.
- SLOPES IN EXCESS OF 2:1 MAY REQUIRE HYDROSEEDING, HYDROMULCHING, TACKLING, AND/OR "PUNCHING-IN" STRAW, BIOENGINEERING TECHNIQUES, OR RETAINING WALLS.
- ROUGHEN THE SURFACE OF ALL SLOPES DURING THE CONSTRUCTION OPERATION TO RETAIN WATER, INCREASE INFILTRATION, AND FACILITATE VEGETATION ESTABLISHMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS.
- STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE.
- USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING VEGETATION ESTABLISHMENT.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.

**SEDIMENT TUBE**

Sediment tubes are elongated tubes of compacted geotextiles, curled excelsior wood, natural coconut fiber or hardwood mulch. Straw, pine needles and leaf mulch-filled sediment tubes are not permitted under this specification.

Install sediment tubes along contours, in drainage conveyance swales, and around inlets to help reduce the effects of soil erosion by energy dissipation and retain sediment.

Sediment tubes for ditch checks and Type A Inlet Structure Filters exhibit the following properties:  
 Produced by a Manufacturer experienced in sediment tube manufacturing.  
 Composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, hardwood mulch or a mix of these materials enclosed by a flexible netting material.  
 Straw, straw fiber, straw bales, pine needles and leaf mulch are not allowed under this specification.  
 Utilizes outer netting that consists of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable materials. Diameter ranging from 18-inches to 24-inches.  
 Curled excelsior wood, or natural coconut rolled erosion control products (RECPs) that are rolled up to create a sediment tube are not allowed under this specification.

Install over bare soil, mulched areas or erosion control blankets.  
 Be composed of geotextiles, curled excelsior wood, natural coconut fiber or hardwood mulch enclosed by a flexible netting material.  
 Straw, straw fiber, straw bales, pine needles and leaf mulch are not allowed.

The minimum diameter should be 18 inches.  
 Sediment tubes should be staked using wooden stakes (2-inch x 2-inch) or steel posts (standard "U" or "T" sections with a minimum weight of 1.25 pounds per foot) a minimum of 48-inches in length placed on 2-foot centers.

Stakes should be intertwined with the outer mesh on the downstream side and driven in the ground to a minimum depth of 1.5 feet leaving less than 1 foot of stake exposed above the sediment tube. Always refer to the Manufacturer's recommendations for the staking detail.  
 Install all sediment tubes insuring that no gaps exist between the soil and the bottom of the sediment tube. The ends of adjacent sediment tubes should be lapped 6-inch to prevent flow and sediment from passing through the field joint. In no situations should sediment tubes be stacked on top of one another.

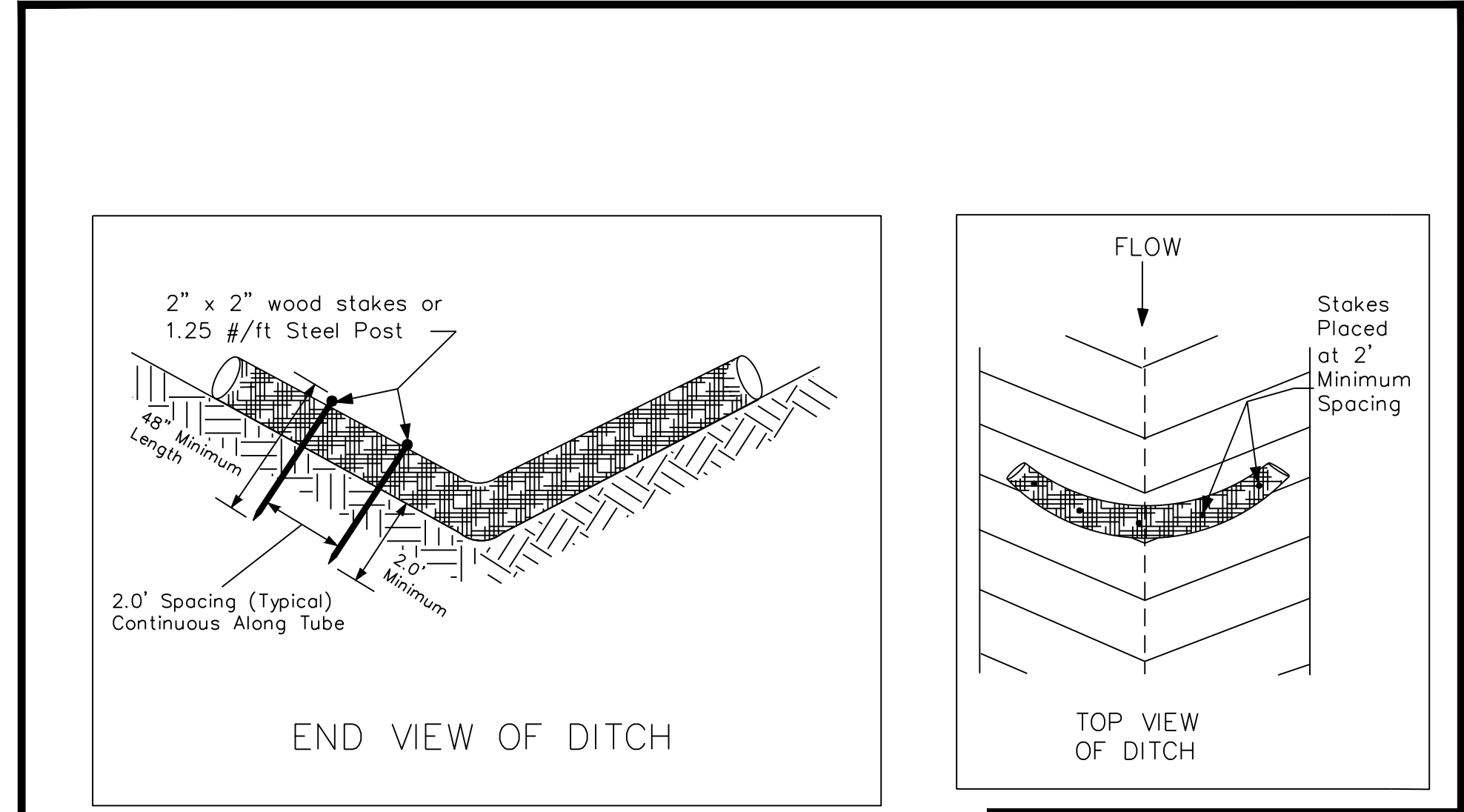
Construct a trench that is 20% of the tube diameter to install the tube in.  
 Avoid damage to sediment tubes while installing them. If the sediment tube becomes damaged during installation, a stake should be placed on both sides of the damaged area terminating the tube segment and a new tube segment should be installed. Should be installed in swales or drainage ditches perpendicular to the flow of water. Sediment tubes should continue up the side slopes a minimum of 1 foot above the design flow depth. Sediment tubes should be spaced according to the following table.

South Carolina Department of Health and Environmental Control

**SEDIMENT TUBE**

STANDARD DRAWING NO. SC-05 Page 2 of 3

APPROVED BY: [Signature] DATE: AUGUST 2005

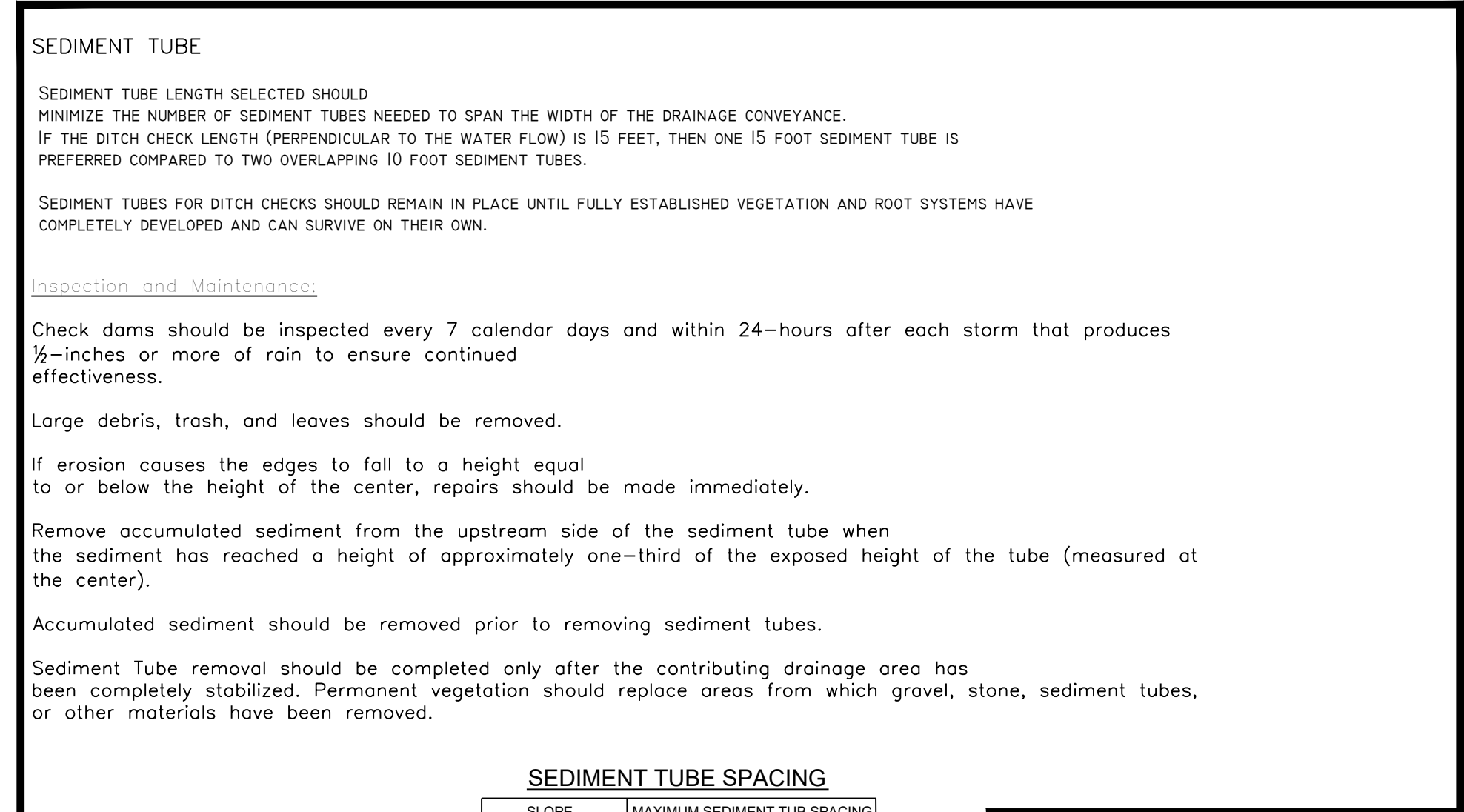


South Carolina Department of Health and Environmental Control

**SEDIMENT TUBE**

STANDARD DRAWING NO. SC-05 Page 1 of 3

APPROVED BY: [Signature] DATE: AUGUST 2005



**SEDIMENT TUBE SPACING**

SLOPE	MAXIMUM SEDIMENT TUBE SPACING
LESS THAN 2%	100 FEET
2%	100 FEET
3%	75 FEET
4%	50 FEET
5%	40 FEET
6%	30 FEET
GREATER THAN 6%	25 FEET

South Carolina Department of Health and Environmental Control

**SEDIMENT TUBE**

STANDARD DRAWING NO. SC-05 Page 3 of 3

APPROVED BY: [Signature] DATE: AUGUST 2005

**SPECIFICATIONS**

THE PATENTED SILT-SAVER FRAME IS CONSTRUCTED OF PARTIALLY RECYCLED, HIGH MOLECULAR WEIGHT, HIGH-DENSITY POLYETHYLENE COPOLYMER (HDPE). THIS MATERIAL HAS SUPER STRESS, CRACK RESISTANCE COMBINED WITH HIGH IMPACT STRENGTH AND RIGIDITY.

FRAMES ARE CURRENTLY AVAILABLE IN 2 MODELS: SS-100A-ROUND BASE TO FIT THE 60" O.D. PRECAST RISERS AS USED IN MOST RESIDENTIAL AND LIGHT COMMERCIAL APPLICATIONS AND SS-200A-SQUARE BASE TO FIT THE 60" O.D. BRICK OR PRECAST DESIGNS AS USED IN MOST D.O.T. HIGH APPLICATIONS.

SILT-SAVER FRAME AND FILTER ASSEMBLY WILL ALSO ACCOMMODATE DRAINAGE STRUCTURES SMALLER THAN THOSE LISTED WITH NO SPECIAL DESIGN REQUIRED.

THE PATENTED SILT-SAVER FILTER DESIGNED TO CUSTOM FIT EACH FRAME AND IS CONSTRUCTED OF NON-WOVEN POLYESTER, NEEDLE PUNCHED AND HEAT-SET TO PROVIDE DURABILITY. THIS MATERIAL WAS CHOSEN FOR ITS ABILITY TO PROVIDE CONSISTENT AND CONTINUOUS FILTRATION UNDER EVERYDAY JOB SITE CONDITIONS. THE WOVEN HIGH VISIBILITY GREEN FILTER TOP NOT ONLY PROVIDES THE VISIBLE SAFETY BUT ALSO PROVIDES A HIGHER FLOW FOR THE UNEXPECTED RAIN EVENTS.

HEIGHT	D-3776	3.0 OZ 1"
TENSILE STRENGTH	D-4632	80LBS
ELONGATION	D-4632	50%
MULLEN BURST	D-3786	100
PUNCTURE STRENGTH	D-4632	50
TRAPFLOOR SEAL	D-4533	30
AOS-15 STD SEVE	D-4351	70
PERMEABILITY-1"	D-4491	2.0
FLOW*	D-4491	102 GAL/MIN/1"
U.V. RESISTANCE, %	D-4355(500 HRS)	70

\*DUE TO VARIATIONS IN SOIL CONDITIONS (SOIL TYPES, SOIL CHANNELS, ETC.) THE USER DOES NOT SPECIFY PROLONGED EXPOSURE TO UV RADIATION. IF THIS IS A CONCERN, ONE MAY WISH TO CONSIDER A UV STABILIZER. THE FILTRATION RATE WILL BE REDUCED TO THE NORMAL THROUGH THE FILTER.

ALL STATEMENTS INFORMATION AND DATA GIVEN HEREON ARE BELIEVED TO BE ACCURATE AND RELIABLE BUT ARE PRESENTED WITHOUT WARRANTIES, WARRANTIES, RESPONSIBILITY OF ANY KIND, EXPRESSED OR IMPLIED, THE USER SHOULD NOT ASSUME THAT ALL SAFETY MEASURES ARE INDICATED, OR THAT OTHER MEASURES OF SAFETY MAY NOT BE REQUIRED.

FOR PRODUCT INFORMATION CONTACT YOUR LOCAL DISTRIBUTOR OR SILT-SAVER, INC. (770) 486-7418 OR TOLL FREE (800) 852-5745. WEB: WWW.SILTSAVER.COM EMAIL: SALES@SILTSAVER.COM

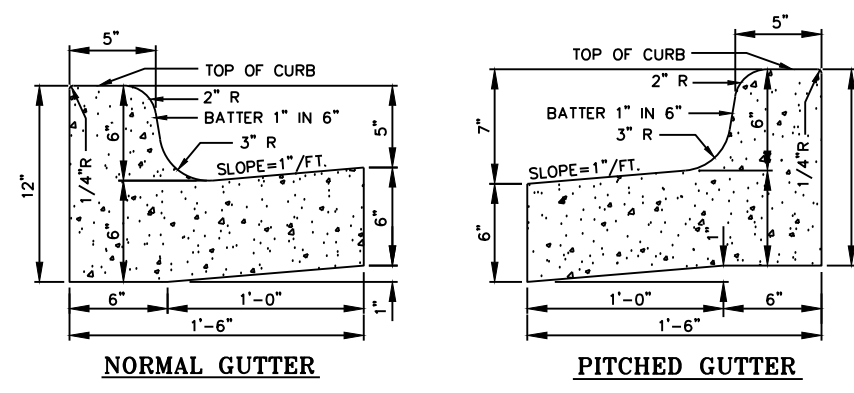
TYPE "D" INLET PROTECTION DETAIL

NOTE: TYPE "D" INLET PROTECTION TO BE USED PRIOR TO SITE STAKE AND PAVEMENT PLACEMENT.

OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
 3229 SUNSET BLVD. SUITE A  
 WEST COLUMBIA, S.C. 29169  
 (803) 216-8777 (FAX) 216-8070  
 EMAIL: dparr@powereng.net

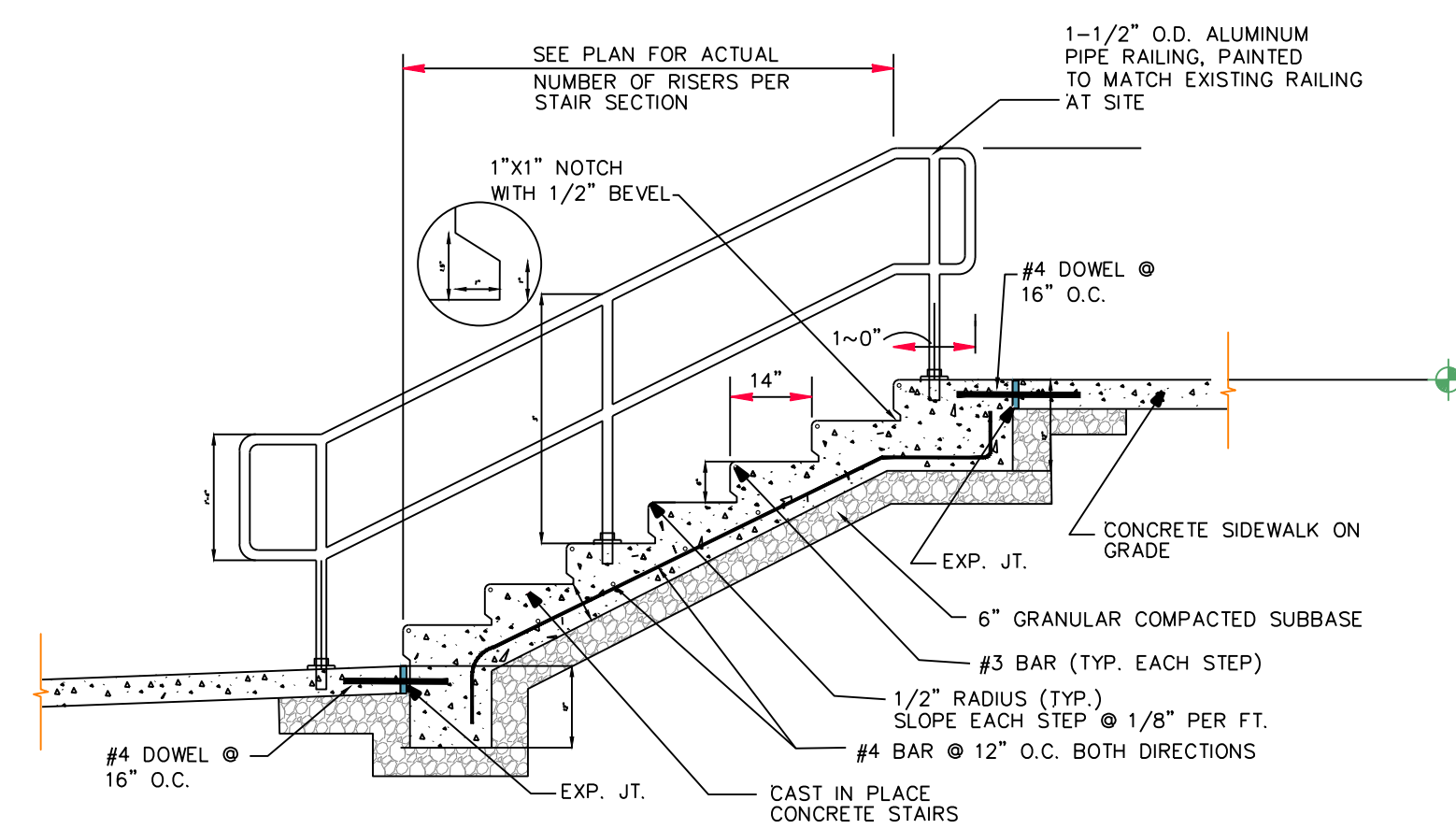




**NOTES:**  
 1. CURB AND GUTTER TO BE CONSTRUCTED IN 10-FOOT LENGTHS.  
 2. 1/2" RICH EXPANSION JOINT SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 10 FEET. 1" RICH EXPANSION JOINT OF RETURN AND AT ANY POINT WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.  
 3. 5-FOOT LONG TRANSITIONS SHALL BE PROVIDED BETWEEN NORMAL GUTTER AND PITCHED GUTTER, UNLESS OTHERWISE NOTED OR THE AWARD PLANS.

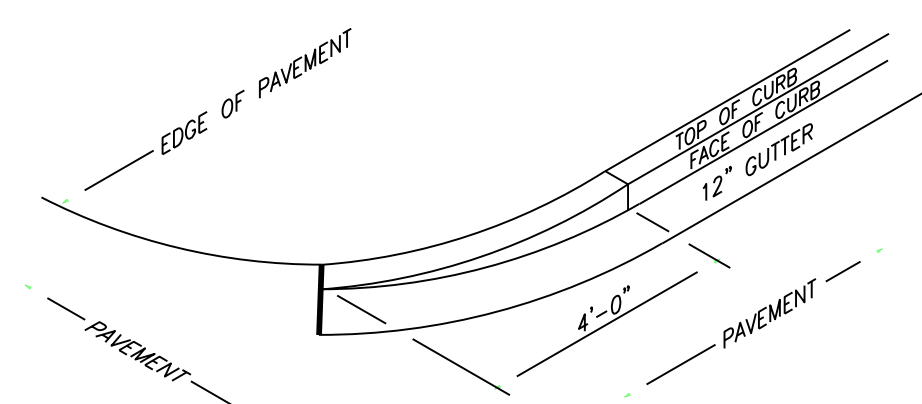
**BARRIER TYPE CURB AND GUTTER**  
 NOT TO SCALE

**NOTE:**  
 6" TALL CURB IN PAVED AREAS.  
 3" TALL CURB ALONG GADSDEN STREET.



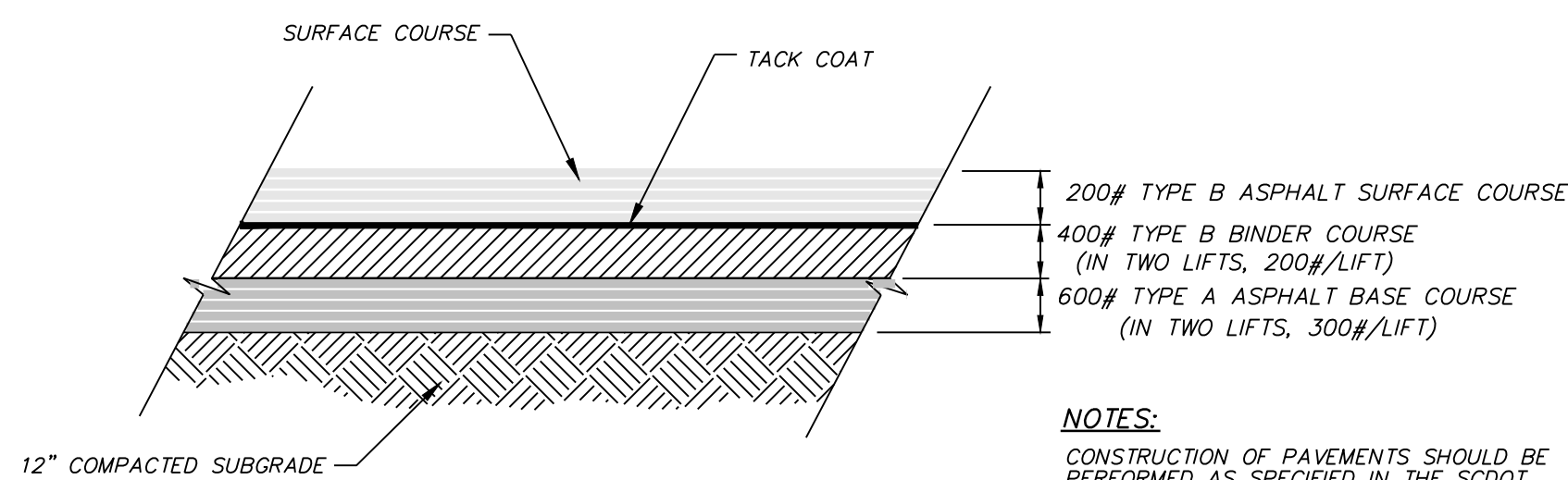
**EXTERIOR CONCRETE STEPS**

1. MEDIUM BROOM FINISH CONCRETE AT STEPS. SWEEP PERPENDICULAR TO DIRECTION OF TRAVEL



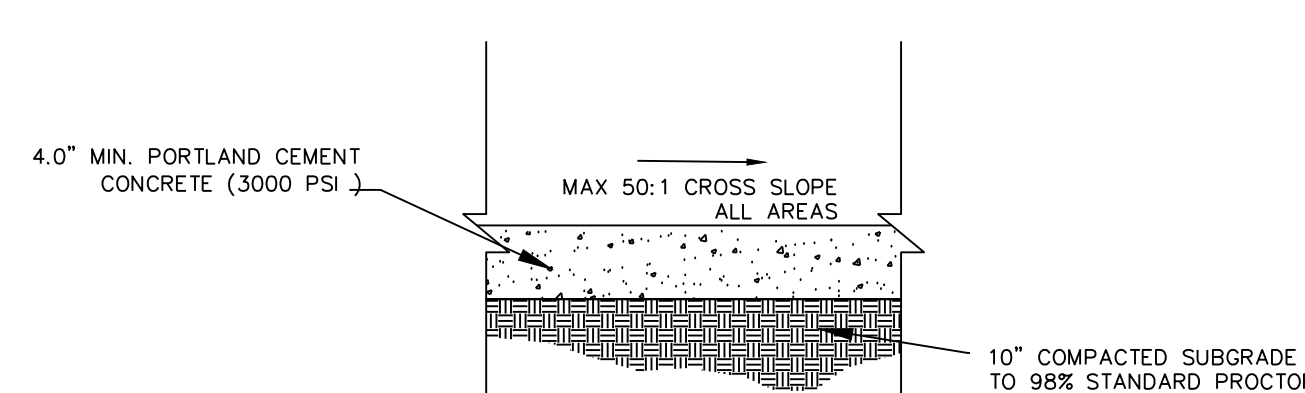
**TAPERED END CURB DETAIL**

NOT TO SCALE  
 DETAIL # 65



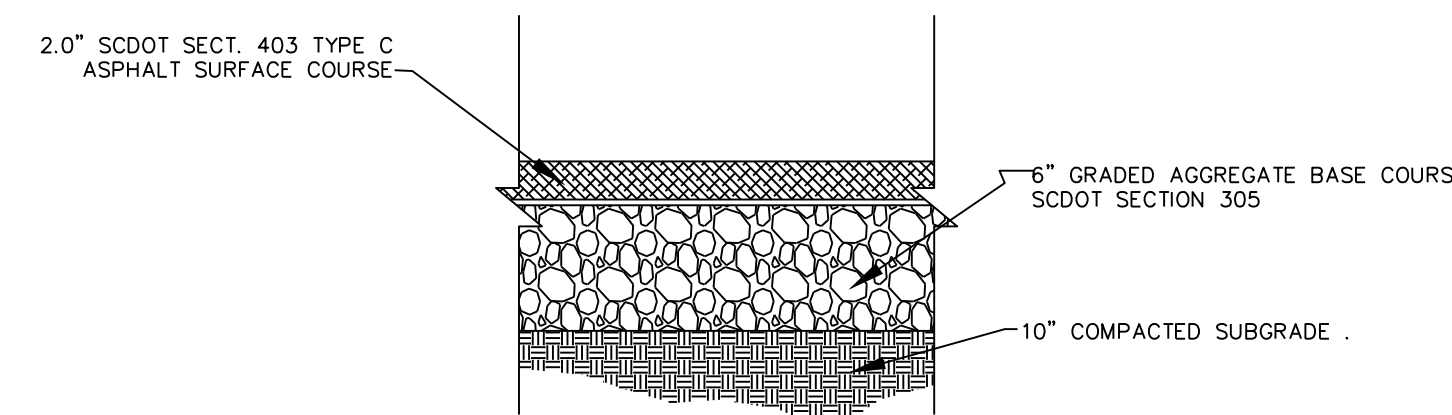
**FULL DEPTH BITUMINOUS CONCRETE PAVEMENT SECTION**  
 IN SCDDOT RIGHT-OF-WAY ONLY

N.T.S.



**TYPICAL CONCRETE SIDEWALK**

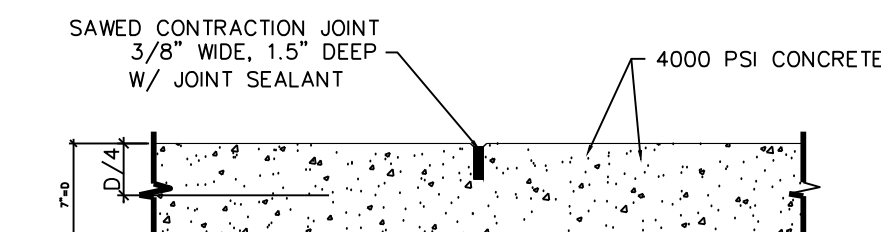
N.T.S.



**TYPICAL LIGHT DUTY PAVEMENT SECTION**

N.T.S.

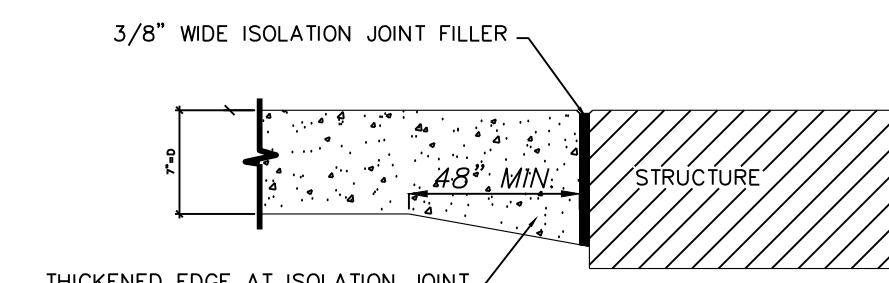
AS NEEDED FOR PARKING LOT REPAIRS OUTSIDE SCDDOT ROW



SEE PLAN VIEW FOR CONTRACTION JOINT LOCATION - IF NOT SHOWN, PROVIDE CONTRACTION JOINTS AT 12' ON CENTER  
 CONTRACTOR TO SAW CONTRACTION JOINTS 4 TO 8 HOURS AFTER CONCRETE PLACEMENT

**CONCRETE CONTRACTION JOINT**

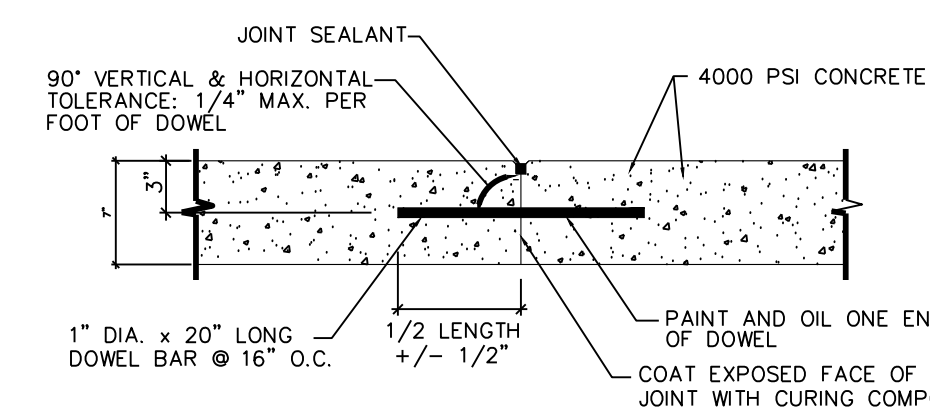
N.T.S.



PROVIDE ISOLATION JOINTS WHEN CONCRETE ABUTS ANY STRUCTURE, ALTERNATE PAVEMENT AREA, OR ALTERNATIVE OBJECT SUCH AS DRAINAGE INLETS PER ATTACHED DETAIL

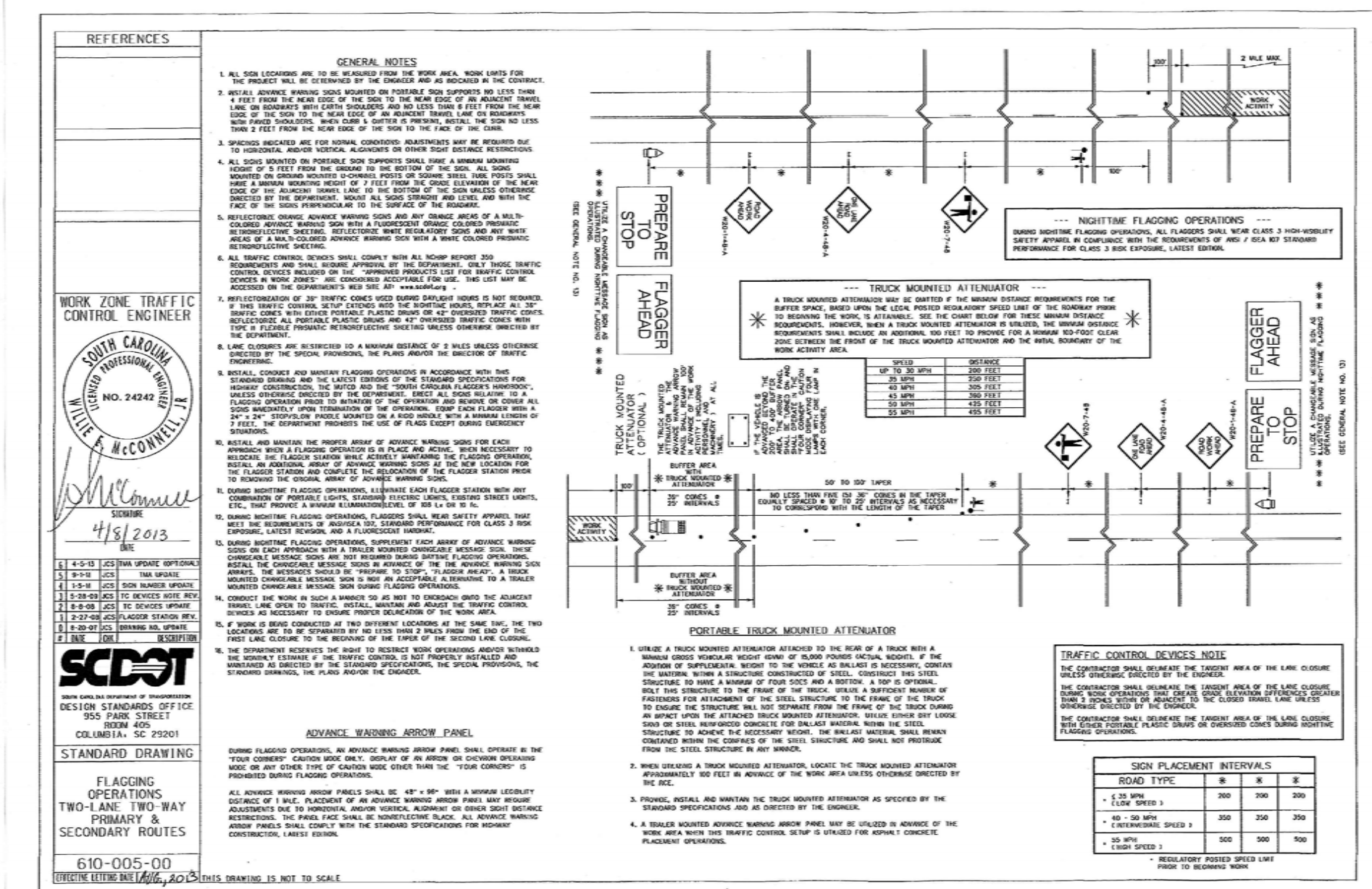
**CONCRETE ISOLATION JOINT (I.J.)**

N.T.S.



**DOWELED CONSTRUCTION JOINT**

N.T.S.

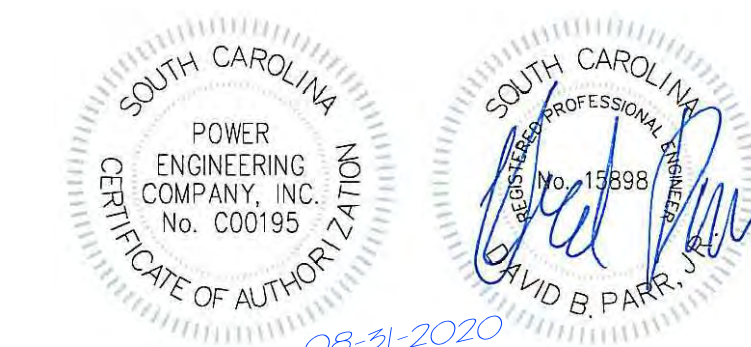


SANITARY SEWER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, S.C. 29201  
 (803) 545-3300

OWNER: GADSDEN PLACE, LLC  
 1209 LINCOLN STREET  
 COLUMBIA, SC 29201  
 PHONE: (803) 212-1032

ENGINEER: POWER ENGINEERING CO., INC.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
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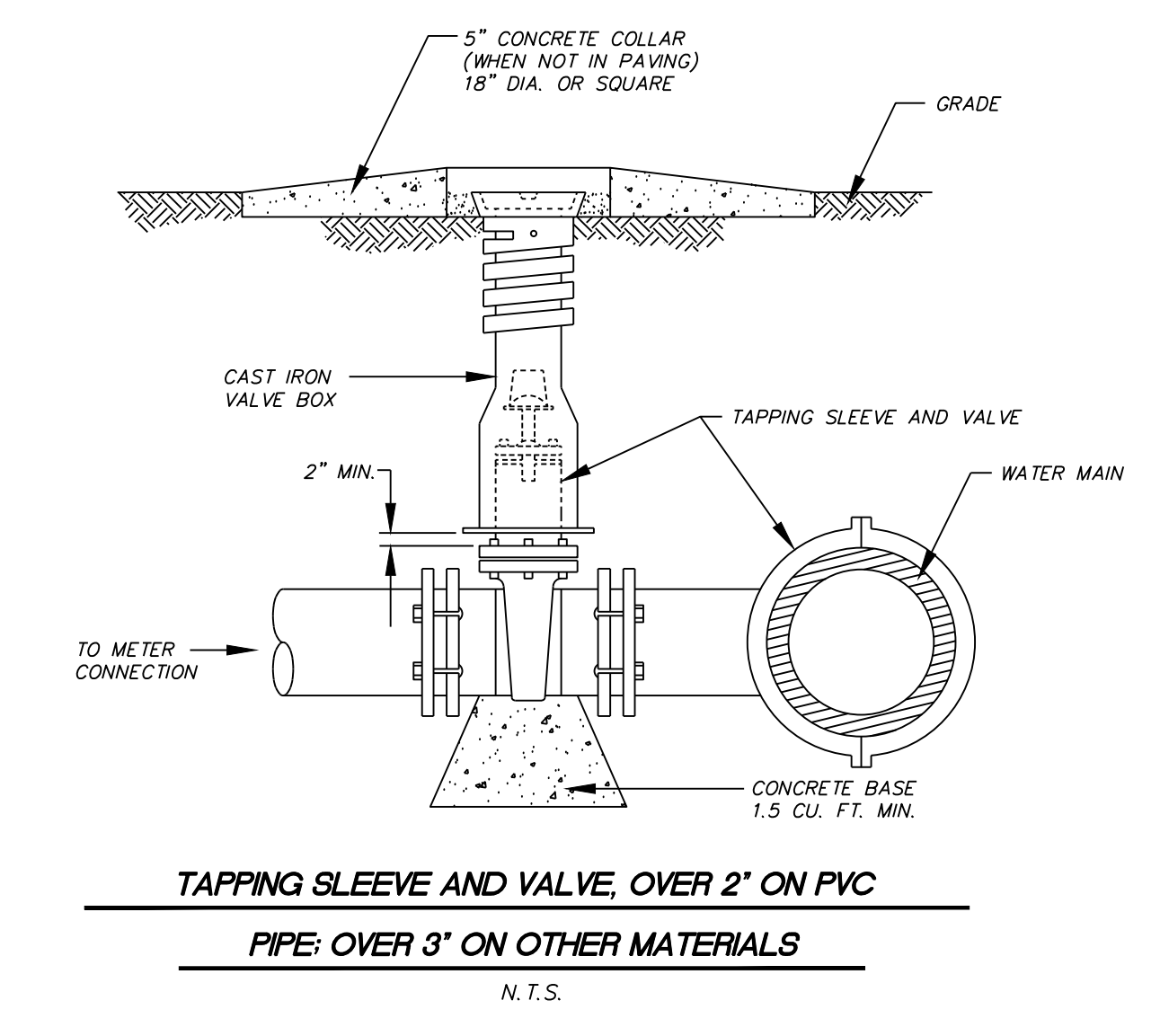
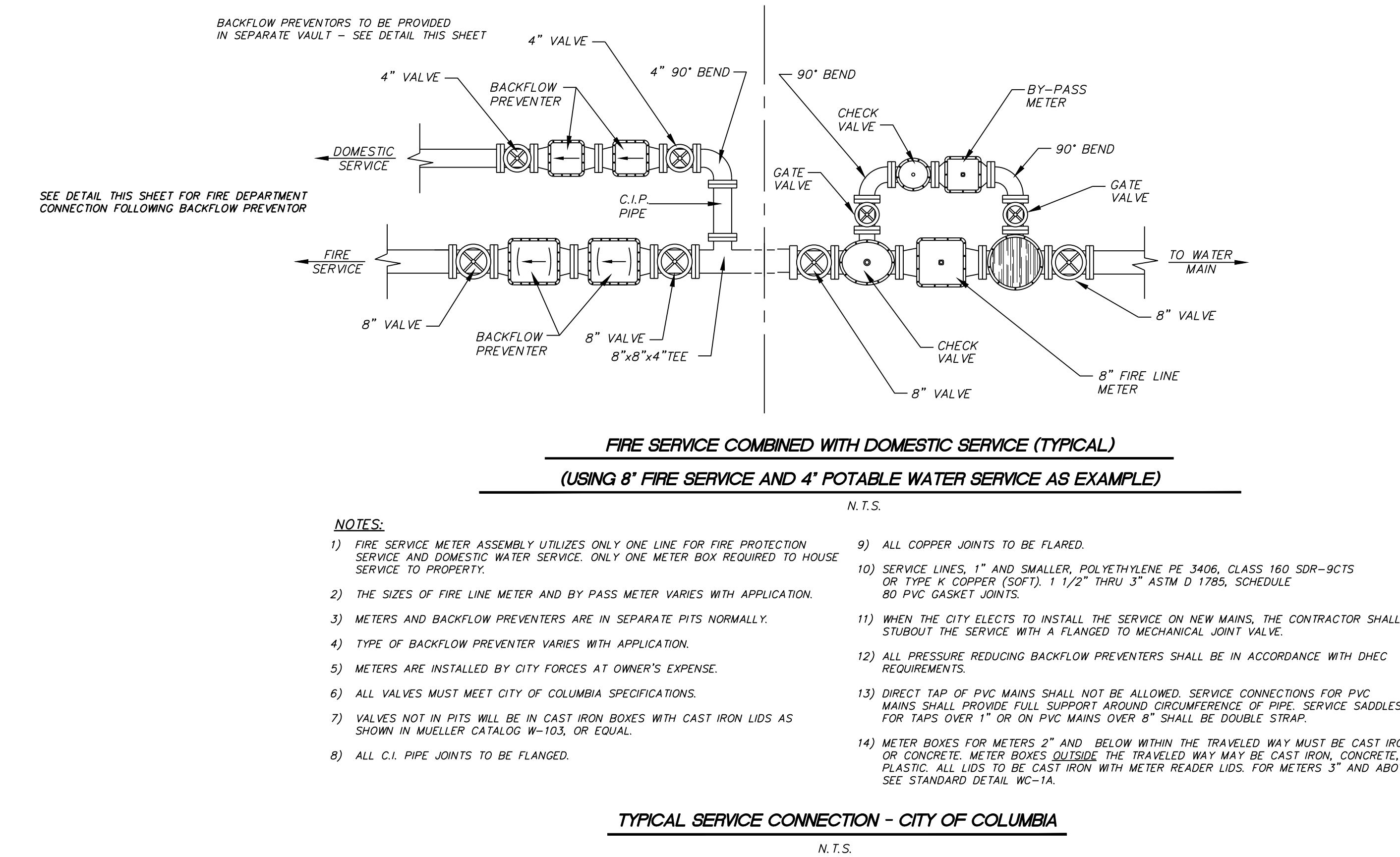
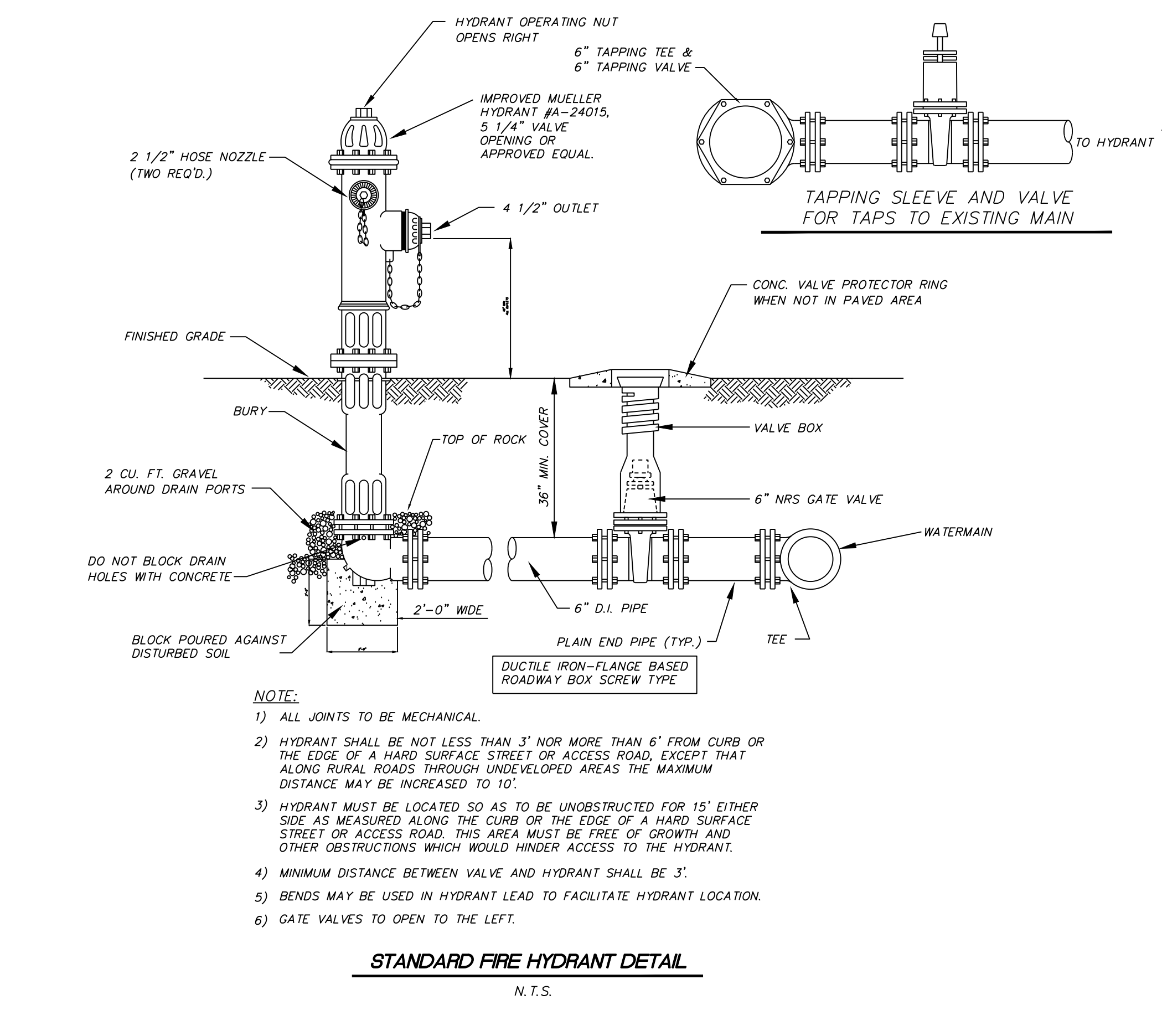
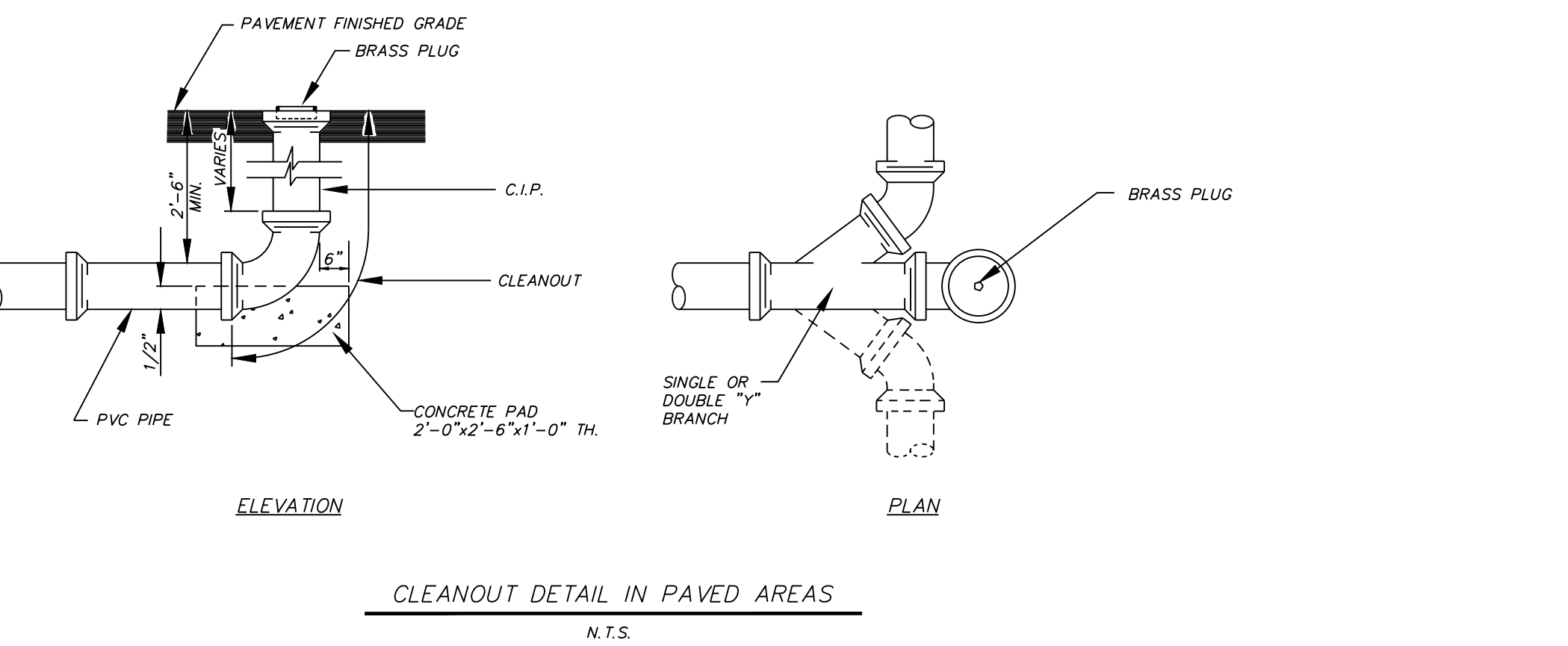
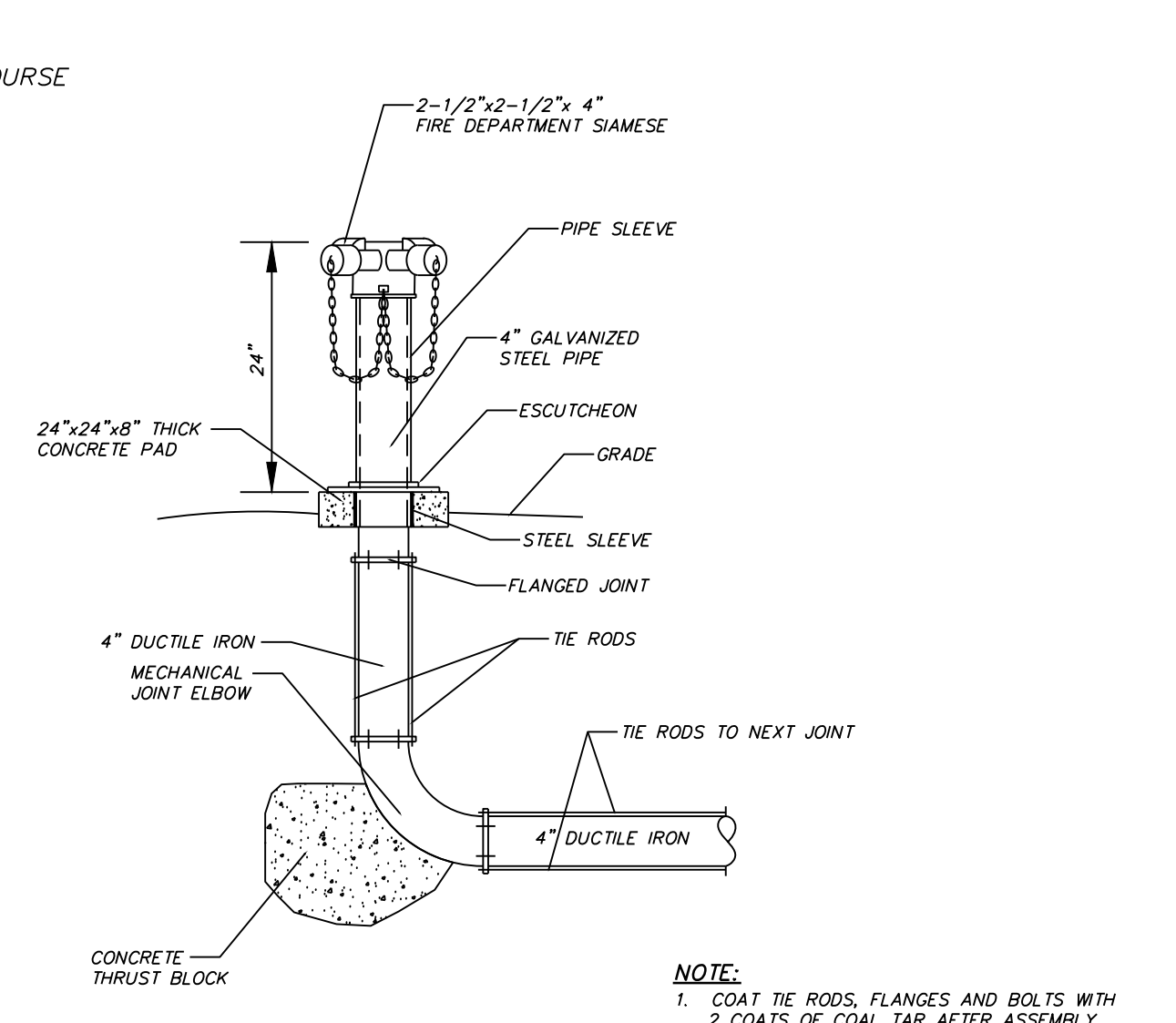
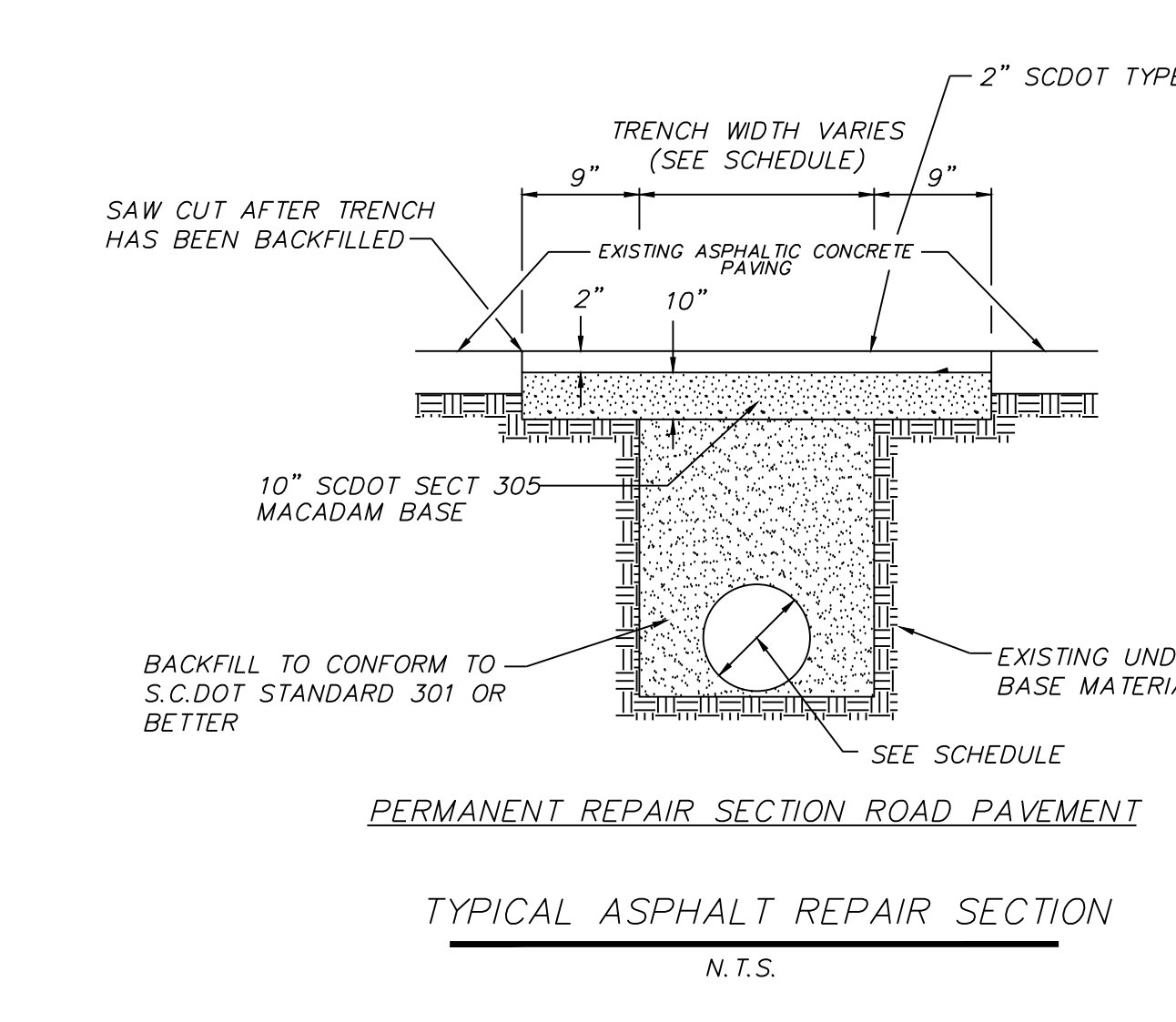
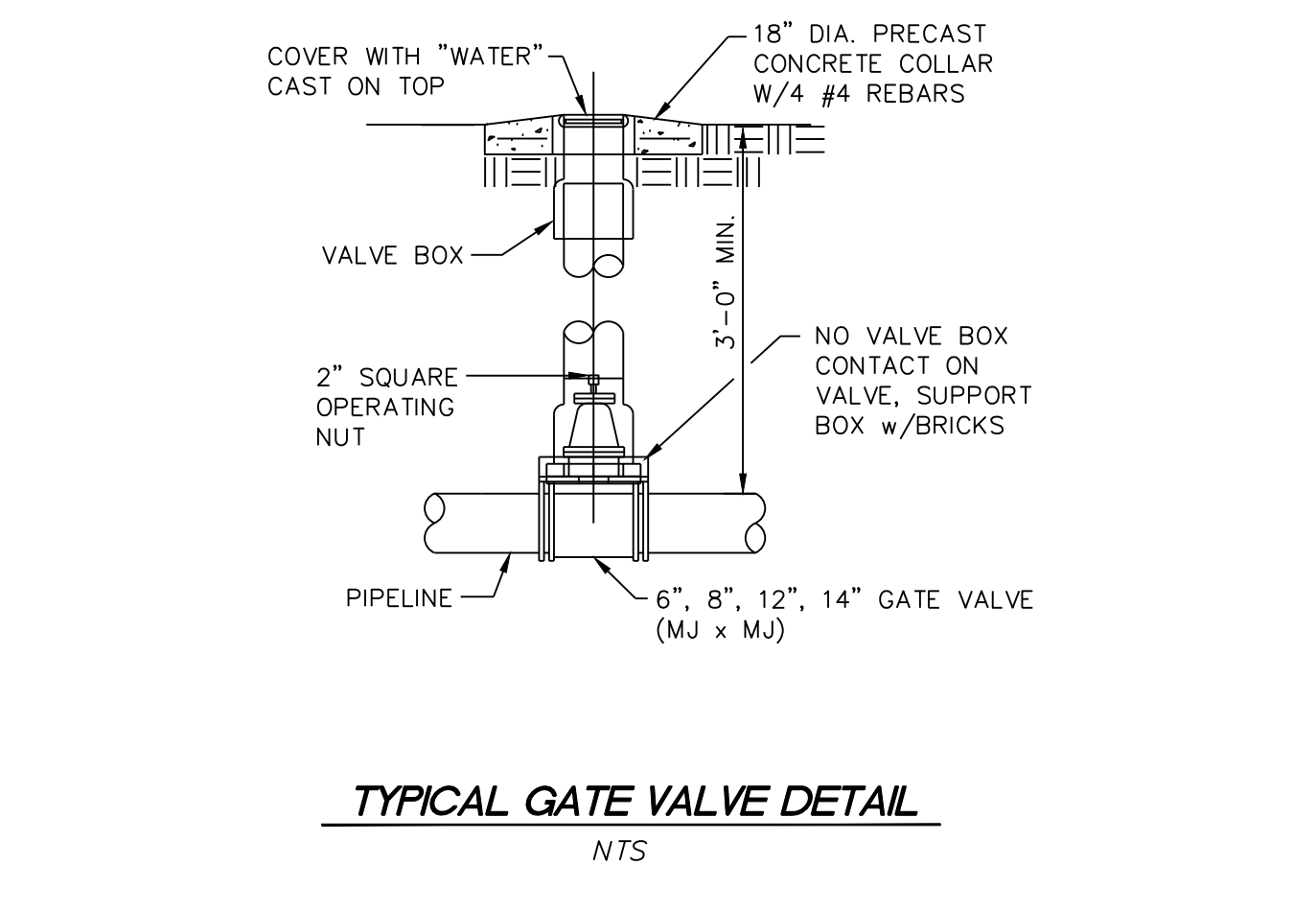
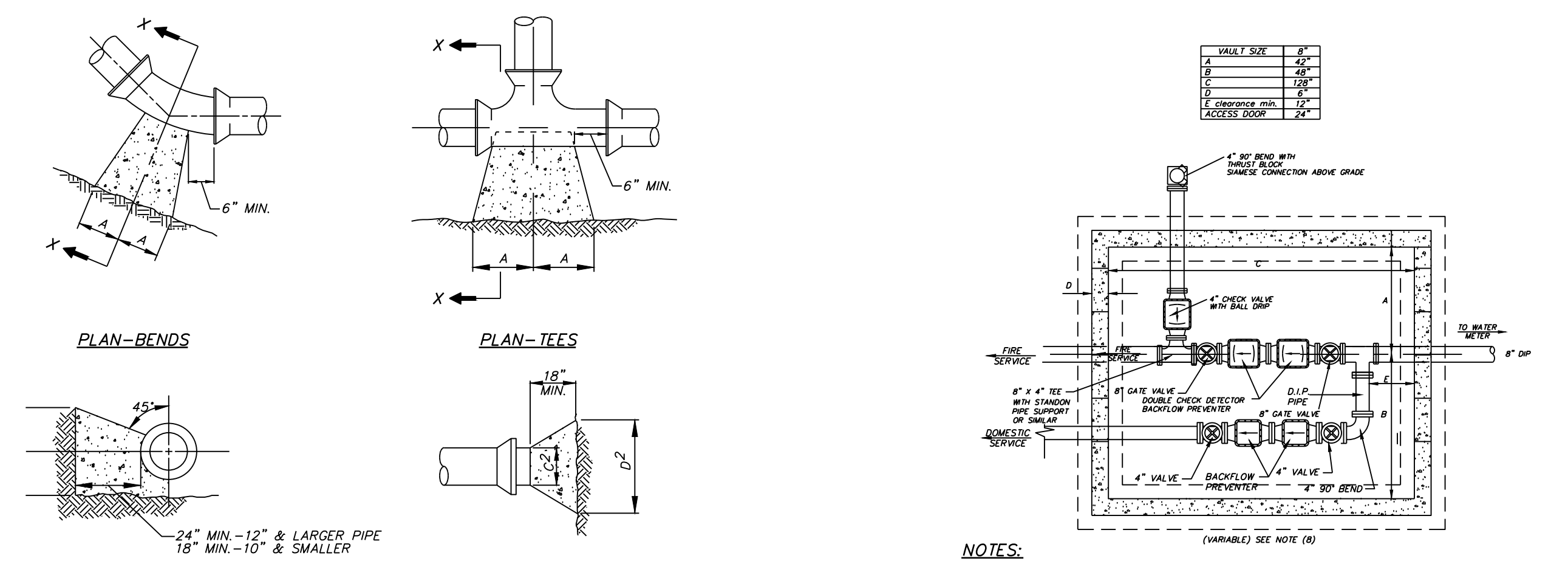
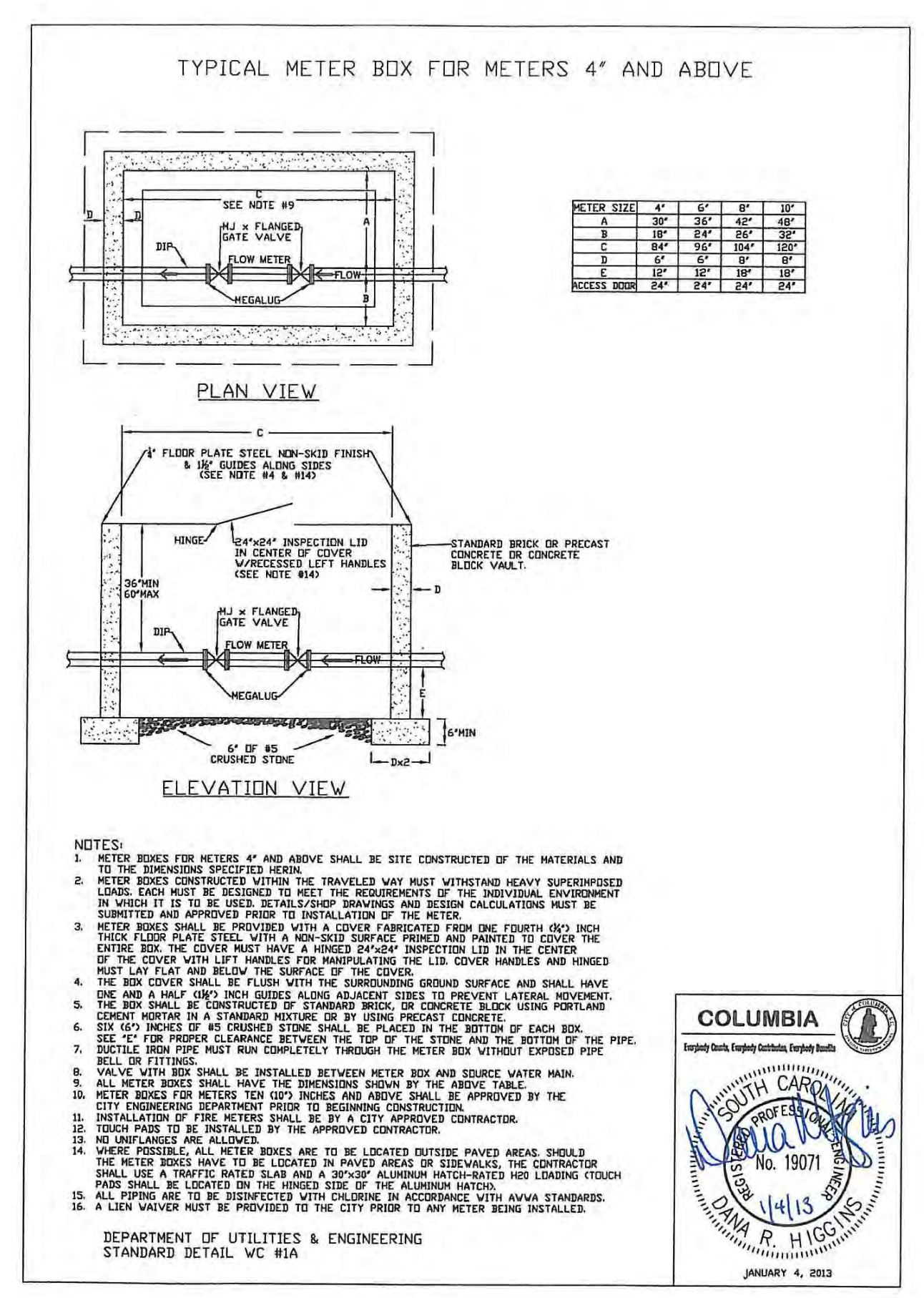
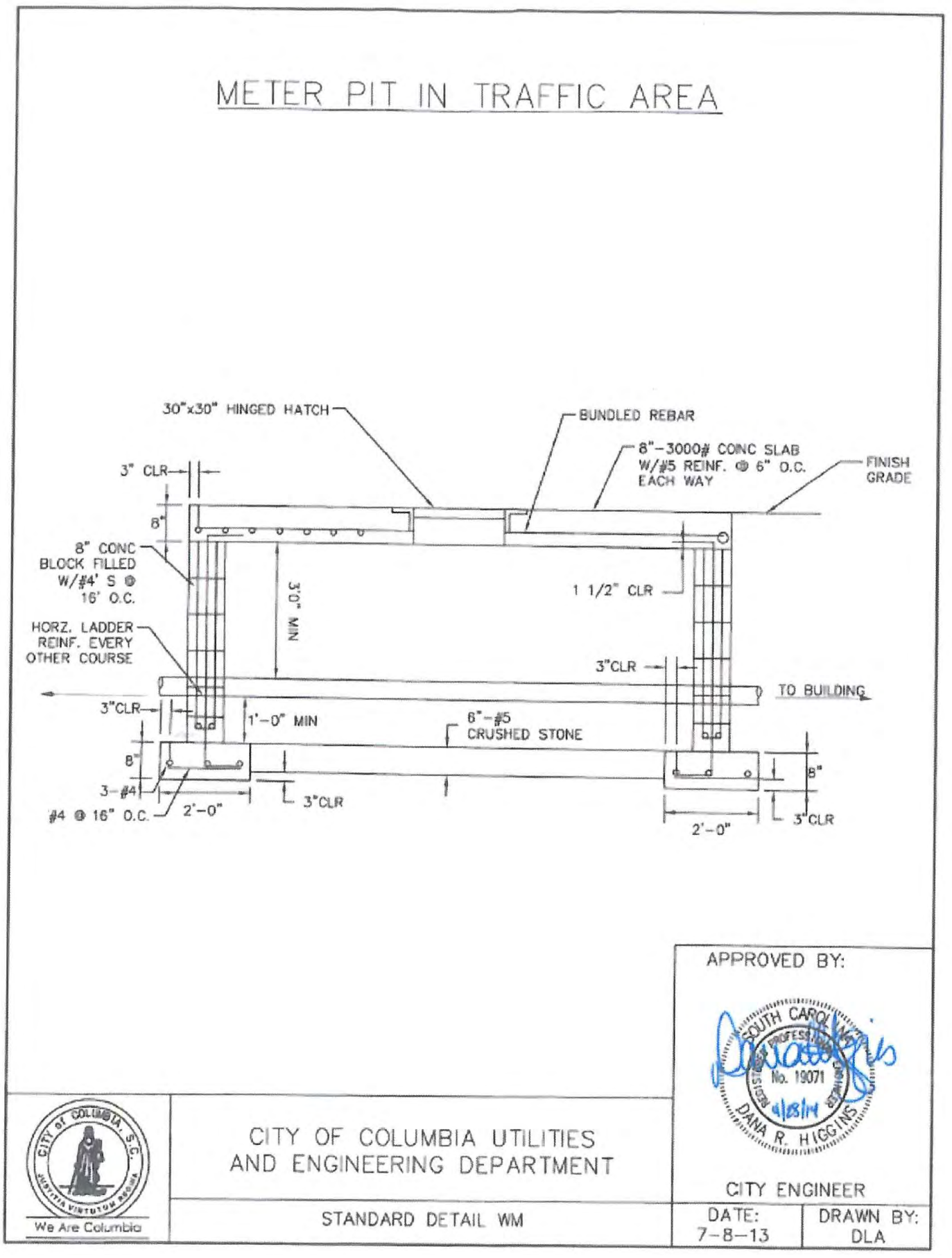
SITE INFO:  
 1209 GADSDEN STREET  
 COLUMBIA, SC 29201

PROJECT TITLE  
**1209 GADSDEN PLACE UPLIFT**  
 1209 GADSDEN PLACE  
 COLUMBIA, SC 29201

NO.	REVISIONS	DATE

DRAWN BY: JTS  
 CHECKED BY: JTS  
 PROJECT NO. 0558.10  
 DATE 06-05-2020  
 DRAWING NO. **C7.2**





SOUTH CAROLINA PROFESSIONAL ENGINEER  
 DINA R. HIGDON  
 No. 19071  
 08-31-2020